



1200 Wilmette Avenue  
Wilmette, IL 60091

COMMUNITY DEVELOPMENT  
DEPARTMENT

(847) 853-7550  
Fax (847) 853-7701  
TDD (847) 853-7634

**NOTICE OF MEETING  
of the  
APPEARANCE REVIEW COMMISSION  
OF THE VILLAGE OF WILMETTE**

**Monday, March 7, 2022 at 7:00 P.M.  
Training Room**

**AGENDA**

- I. Call to Order**
- II. Approval of Minutes**
  - Minutes of the Appearance Review Commission of February 23, 2022
- III. Cases**
  - 2021-AR-40, 1408 Wilmette Avenue, Judith Godfrey, Certificate
  - 2021-AR-47, 200 Skokie Boulevard, Murray Bros, Certificate
  - 2022-AR-03, 3520 Lake Avenue, Starbucks, Certificate
  - 2022-AR-08, 1133-1139 Greenleaf Avenue, Buck Russell's, Certificate
- IV. Public Comment**
- V. New Business**
- VI. Adjournment**

**Charles Smith, Chairman**

IF YOU ARE A PERSON WITH A DISABILITY AND NEED SPECIAL ACCOMMODATIONS TO PARTICIPATE IN AND/OR ATTEND A VILLAGE OF WILMETTE PUBLIC MEETING, PLEASE NOTIFY THE VILLAGE MANAGER'S OFFICE AT (847) 853-7509 OR TDD (847) 853-7634 AS SOON AS POSSIBLE.



# **VILLAGE OF WILMETTE**

1200 Wilmette Avenue  
WILMETTE, ILLINOIS 60091-0040

## **MEETING MINUTES**

### **APPEARANCE REVIEW COMMISSION**

**MONDAY, FEBRUARY 23, 2022**

**7:00 P.M.**

**SECOND FLOOR TRAINING ROOM**

---

Members Present:   Nada Andric  
                              Richard Brill  
                              Devan Castellano  
                              Mason Miller  
                              Doug Johnson  
                              Charles Smith

Members Absent:   Jeffery Saad

Guests:               Madeline Madden, Wayfair  
                              Nick Goodman, Wayfair  
                              Jeff Curley, WS Development  
                              Molly Gasperi, WS Development  
                              Luigi Franceschina, Gensler  
                              Lucy Prather, Elrod Friedman  
                              Megan Mack, Ancel Glink  
                              Kristin Hildreth, 3232 Lake Avenue

Staff Present:        Lucas Sivertsen, Business Development Coordinator

## **I.    CALL TO ORDER**

Chair Smith called the meeting to order at 7:00 p.m.

## **II.   APPROVAL OF MINUTES**

There were no comments on the previous minutes.



Commissioner Brill moved to approve the February 7, 2022 Appearance Review Commission minutes. The motion was seconded by Ms. Castellano. Voting Yes: Andric, Brill, Castellano, Miller, and Smith. Voting No: none. Abstain: Johnson. **The motion carried.**

### III. CASES

#### **2022-AR-05 3200 - 3232 Lake Ave**

#### **Edens Plaza Appearance Review Certificate**

Mr. Sivertsen introduced Case 2022-AR-05, 3200-3232 Lake Ave, requesting an Appearance Review Certificate to demolish portions of the east side of the building, install new cladding on all sides, construct a clerestory, install canopies, and modify landscaping and hardscaping around the exterior of the building, and sign variations including variations to install more than one wall sign per exterior wall, a variation to install a sign on a canopy, and a wall sign coverage variation.

Ms. Prather introduced herself as entitlement council for the Edens Plaza property. She reviewed the process up to this point, and asked for approval of plans at the current meeting. She also thanked the board for holding two special meetings. She is seeking approval for the designs that have been updated since the January 24<sup>th</sup> meeting. She reiterated the requests described by Mr. Sivertsen.

Mr. Franceschina and Ms. Madden presented the updated plans to the board highlighting the reduction of purple cladding on the elevations.

Commissioner Andric asked if the tiles were custom.

Mr. Franceschina and Ms. Madden confirmed that they are.

Commissioner Andric asked where the tiles were on the elevations.

Ms. Madden clarified on the design packet and described how the tiles would be arranged on the facade. Certain colors will cover differing portions of the wall and will be arranged to avoid a grid-like look.

Commissioner Andric asked what the rest of the façade would be made of.

Mr. Franceschina reviewed the other façade materials and locations and explained how the illuminated metal wall will work.

Commissioner Andric asked how that wall would look during the day and asked if it would look like a flat surface.

Mr. Franceschina explained that there would still be a textured look during the day but that it might look flat from a distance depending on time of day and season.

Commissioner Brill asked why they want it illuminated at night.

Mr. Franceschina answered that they hope to show the excitement, activity and movement of Wayfair and that they don't want it to feel static.

Commissioner Johnson asked what the color temperature of the lights would be.

Mr. Franceschina said it would start at about 3,500 Kelvin but they are still working on it and that is meant to support the glow of the storefront rather than act as a beacon.

Mr. Sivertsen clarified that it would be 3,000 Kelvin outside but inside would be 3,500-4,000 Kelvin and that they would try and match the outdoor parking lot lighting.

Mr. Franceschina and Ms. Madden confirmed Mr. Sivertsen's description and said the corner windows would be illuminated from the interior.

Commissioner Johnson asked if they plan to replace any parking lot lighting and raised concerns about temperature difference.

Mr. Franceschina said that any new site lighting is for modification and support of curbs and sidewalks.

Mr. Franceschina continued reviewing the elevations and renderings emphasizing updates.

Commissioner Andric asked what the large white surfaces would be made of.

Mr. Franceschina clarified that one would be the metal surface and the other would be made of cement plaster.

Chair Smith asked to see the existing brick.

Mr. Franceschina showed the existing brick and showed where it would be whitewashed.

Mr. Franceschina continued to review the elevations and renderings and explained that the color of the cement plaster would be grayer than it appears in the renderings and would match more closely. The brick along the pedestrian sidewalk would be white washed to make it blend with the rest of the shopping center.

Commissioner Johnson asked if the whitewashed bricks would be made to blend or match the existing brick in the rest of the shopping center and asked if they plan to make the rest of the shopping center white.

Mr. Franceschina said that that was the intent and that it would be a match.

Commissioner Brill pointed out that the updated renderings look darker than the originals and asked if that's on purpose.

Mr. Franceschina said that it will be darker. He then explained that while the intensity of lighting will be increased for safety and highlighting the building, it will not all be washed in light like the renderings might portray and will not overwhelm.

Commissioner Johnson asked Mr. Sivertsen if the entire backlit metal façade is considered a sign.

Mr. Sivertsen said it would not be considered a sign.

Commissioner Johnson pointed out that illumination would affect the purple tiling and that if it is over-illuminated it might head in the wrong direction. He is concerned the finish of the different tiles won't match and the result will be a sparkly effect.

Ms. Madden clarified that there is no difference in shade or luminosity from the original and that there should be no difference in sheen.

Mr. Franceschina explained that the difference is merely a difference in color and that is why they did not bring in a new sample.

Commissioner Castellano asked which color the exterior gray plaster would be closer to.

Ms. Madden pointed it out and clarified that the new renderings are more accurate. She then began to discuss landscaping. She highlighted the changes they had made to sidewalks, crosswalks, and landscaping. She also covered lighting and thanked the board for their time.

Commissioner Brill thanked them for their adjustments to the purple and lighting and said the plans look good. He noted the corner window was proposed to have merchandise stacked all the way to the top of the window, which looked busy. He asked if there was anything they could do about it.

Ms. Madden said it was good feedback and that the corner window is to highlight their business model. She said it is likely busier in the photo than it would be in reality.

Commissioner Castellano had no questions but is appreciative of their refinements.

Commissioner Miller wondered why the thickness of the cladding varied on the north elevation.

Ms. Madden said the intent is to have them on the same plane, but they would need to push back the cladding at the west end to allow for a wider sidewalk.

Commissioner Miller asked if they have reached a specification on the glass.

Mr. Franceschina said that they plan to use scenario 2

Commissioner Johnson said the design is thoughtful and that he appreciates their responsiveness. He is concerned about luminosity on the wall and says it needs uniformity.

Mr. Franceschina agreed.

Commissioner Johnson asked Mr. Sivertsen to check if the façade is considered a sign.

Mr. Sivertsen said he doesn't think it is a sign but will double check.

Commissioner Andric asked how the purple tiles are mounted, and the size of the reveal.

Mr. Franceschina said the reveal will be about half an inch and reiterated that there will not be light coming through the purple.

Commissioner Andric asked how the purple will be highlighted at night and if they will have extra tiles in stock in case of replacement needs.

Ms. Madden said they will have ample stock on hand should anything take place.

Commissioner Andric said she likes the design of the northeast corner but isn't sure how they will light it. She asked if they will have light shining on the furniture.

Mr. Franceschina said the light will come from the inside of the building.

Commissioner Andric said she likes the design but is worried about white brick. She is concerned if white brick is scalable across the rest of the mall.

Mr. Franceschina reiterated that WS plans to whitewash the rest of the brick so it will match.

Commissioner Andric is worried that the white brick will not look good and asked if there is an off-white they could consider.

Ms. Madden said they will discuss that with WS.

Chair Smith asked Mr. Sivertsen if the balance if the mall renovation will come before the ARC commission.

Mr. Sivertsen said it will and that the overall design and the shopping center will likely be a condition of the Village Board approval.

Commissioner Andric still has concerns with the rest of the plaza and leaving the parking lot as is.

Chair Smith thinks that the design is sophisticated and thanks WS for their help. The current design is a validation that the review process works. He wants to make the bird glass selected, scenario 2, a condition of the approval.

Mr. Sivertsen said the applicant requested separate motions on the Appearance Review Certificate and sign variations and reminded the commission to go through the standards of review.

Chair Smith agreed that the motions are different and opened it up to the public.

Ms. Hildreth raised concerns about shopping carts being loose around the parking lot.

Ms. Madden explained that the carts are similar to Target's and that there will be designated attendants for the cart corrals. She said there will also be attendants helping some customers to their cars which will help.

Ms. Hildreth asked where they store carts outside.

Ms. Madden pointed out the nine cart corrals in front of the store.

Ms. Hildreth raised concerns about the entrance, exit, and cart return being close and that it will be too busy.

Ms. Madden said they are aware of the density and needs for parking.

Commissioner Andric encouraged more research into whitewashing the bricks.

Ms. Madden reiterated that the whitewashing of the Wayfair bricks will be to match the rest of the development.

Mr. Curley explained that they plan to present photographs and markups to the ARC of the whitewashing plans.

Chair Smith went through the standards of review. All sides of the structure received design consideration. While the project is transformational and doesn't match the surroundings, it is reviewed and good. The materials are durable are appropriate. The proportions are good. Grade conditions remain unchanged and are a nonissue. Similarity related to surroundings will be made when other bricks are whitewashed. This is the centerpiece of the mall. Crosswalks and sidewalks are leaving it in a better condition for pedestrians. Parking, storage, and refuse areas are approved. Landscaping is appropriate and aesthetically pleasing. Parking is clear and well-lit and crosswalks are good. Intent is clear. There are no accessory structures but there is exterior lighting that is mindful and approved.

Commissioner Johnson moved to approve Case 2022-AR-05, 3200-3232 Lake Avenue, requesting an Appearance Review Certificate with the condition that scenario 2 bird glass as shown in the proposal is the type used on the building. The motion was seconded by

Commissioner Castellano. Voting yes: Andric, Brill, Castellano, Johnson, Miller, Smith. Voting No: None. **The motion carried.**

Chair Smith went through the standards of review for sign variations and noted all applicable standards had been met.

### **Findings**

The Commission finds that unique location along the Edens Expressway, the character of the building as the anchor of the shopping center, and the size of the building frontage is reason for granting the requested sign variations. The variations will not negatively impact the character and appearance of the shopping center.

### **Decision**

Commissioner Johnson moved to recommend granting Case 2022-AR-05, 3200-3232 Lake Avenue, requesting sign variations to display more than one exterior wall sign along a single wall, a variation to install a sign on a canopy, and a wall sign coverage variation. Voting yes: Andric, Brill, Castellano, Johnson, Miller, Smith. Voting no: None. **The motion carried.**

Commissioner Johnson moved to authorize the chairman to approve the case report for the Village Board's March 8 meeting. Commissioner Castellano seconded the motion. Voting yes: Andric, Brill, Castellano, Johnson, Miller, Smith. Voting no: none. **The motion carried.**

## **IV. PUBLIC COMMENT**

Ms. Hildreth asked if the entrance from Lake Avenue would create traffic and cross in front of Bed, Bath, and Beyond.

Mr. Sivertsen explained that the Village Board is seeking a study on that as a condition during their approval.

## **V. NEW BUSINESS**

There was no new business.

## **VI. ADJOURNMENT**

At 8:48 p.m., A commissioner moved to adjourn the meeting. The motion was seconded by Commissioner Brill. Voting yes: Andric, Brill, Castellano, Johnson, Miller, Smith. Voting no: none. **The motion carried.**

**Report to the Appearance Review Commission  
from the  
Department of Community Development**

**Case Number:** 2021-AR-40

**Property:** 1408 Wilmette Avenue

**Zoning District:** R2, Attached Residence District

**Petitioner:** Paul Klitzkie as agent

**Request:** The petitioner requests an Appearance Review Certificate to retain a pergola constructed without a permit.

**Applicable Provisions of Ordinances:** 20-3.5, Appearance Review Commission Powers  
20-5.7, Appearance Review Certificate

**Meeting Date:** March 7, 2022

**Date of Application:** July 30, 2021

**Notices:** Date of Personal Notice dated, February 17, 2022  
Certificate of Posting dated, February 17, 2022  
Affidavit of personal notice dated, February 18, 2022  
Legal Notice Certificate of Publication dated, February 17, 2022

**Report Prepared By:** Lucas Sivertsen, AICP  
Business Development Coordinator

--

## **Description of the Property**

The subject property is located on the northwest corner of Wilmette Avenue and Prairie Avenue in the R2, Attached Residence District. The surrounding properties including a detached residence to the north and east, and additional townhomes to the south and west that are part of the same townhome development.

## **Description of Request**

The petitioner requests an Appearance Review Certificate to retain a pergola constructed without a permit.

An attached pergola was constructed in 2021 above an existing wood deck situated north of the townhome unit it serves. The pergola is of wood construction and extends slightly past the existing wood deck.

The applicant received approval by the Village Board on February 8, 2022 for a setback variation and special use permit to allow the retention of the pergola. In addition, the applicant will need an Appearance Review Certificate and subsequent building permit in order to retain the pergola.

## **Action Required**

The Appearance Review Commission can grant an Appearance Review Certificate provided the proposal meets the following standards of review:

### **Appearance Review Certificate Standards of Review**

1. All sides of a structure receive design consideration.
2. If the side or rear of the structure faces a street, a residential use, or a property located in a residential zoning district, the exterior materials used on the side or rear are comparable in character and quality to the exterior materials used on the facade of the structure.
3. Materials used in the construction and design of the structure are of durable quality.
4. Mechanical equipment is located or screened so as not to be visible from surrounding streets and properties.
5. The scale and placement of the structure on the site is appropriate to the proportion of the site covered by the structure and the location of the structure in relation to its lot lines.
6. Building design and placement must take into consideration natural grade conditions, existing vegetation, and other natural features.
7. Excessive similarity or dissimilarity in design in relation to surrounding or adjoining structures is discouraged, including but not limited to building height, exterior materials, building mass, roof line, and architectural features.
8. Design takes into consideration the relationship to the street and the pedestrian environment.



9. Parking, storage, and refuse areas are located and screened so as not to negatively affect neighboring properties.
10. Landscape is designed to maintain existing mature trees and shrubs to the maximum extent possible.
11. Landscape provides an aesthetically pleasing design and, where applicable, provides for the screening of parking, storage, refuse, and utility areas from the street and adjacent residential properties.
12. Selected plant materials shall be suitable to Wilmette's climate and to their location on the site. The use of invasive species is prohibited. Invasive species shall be those included in the "Chicago Botanic Garden" list of "Invasive Plants in the Chicago Region."
13. Parking areas are designed to achieve efficient traffic flow and minimize dangerous traffic movements.
14. Signs are of the appropriate design, color and placement to the structure, site and adjoining properties, in terms of materials, height, setback from the street, and proportion.
15. Accessory structures, exterior lighting and fences, complement the overall structure and site design, in terms of materials, size, and architectural character.
16. For new two-unit dwellings, review is limited to whether or not the proposed structure maintains the external appearance of a single-family dwelling.

## **Case File Documents**

### **Location Maps and Plans**

- 2.1 GIS Map
- 2.2 Perspective
- 2.3 Setback Plan
- 2.4 Pergola Plan
- 2.5 Framing Plan





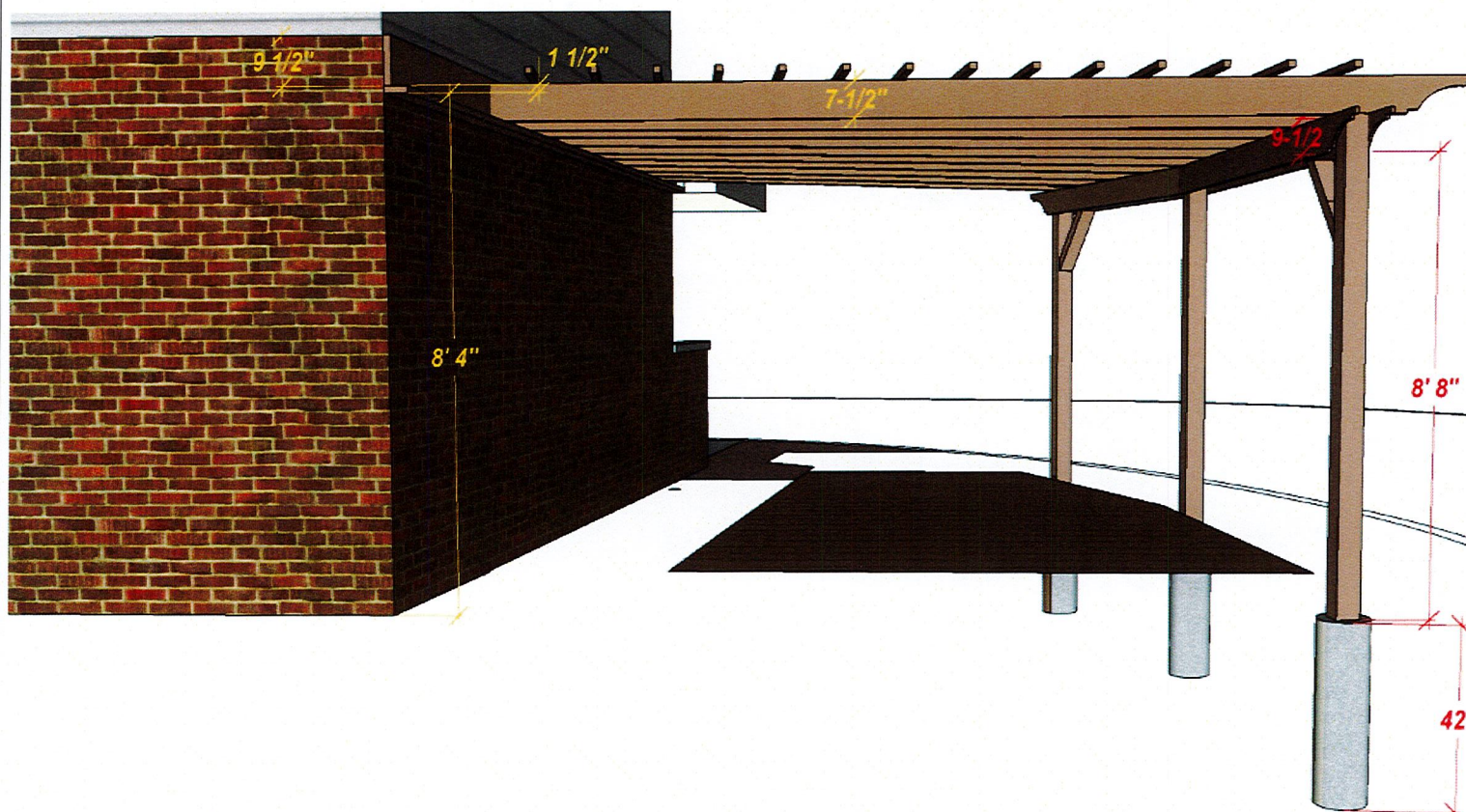
2000 GREENLEAF ST  
EVANSTON, IL 60202  
847-475-7917  
natureperspective.com

## GODFREY RESIDENCE

1408 WILMETTE AVE  
WILMETTE

ELEVATIONS

NOT TO SCALE  
DRAWN BY: TK/TSV  
(c) 2020  
NATURE'S PERSPECTIVE



0 5 10 20  
SCALE IN FEET



2000 GREENLEAF ST  
EVANSTON, IL 60202  
847-475-7917  
natureperspective.com

## GODFREY RESIDENCE

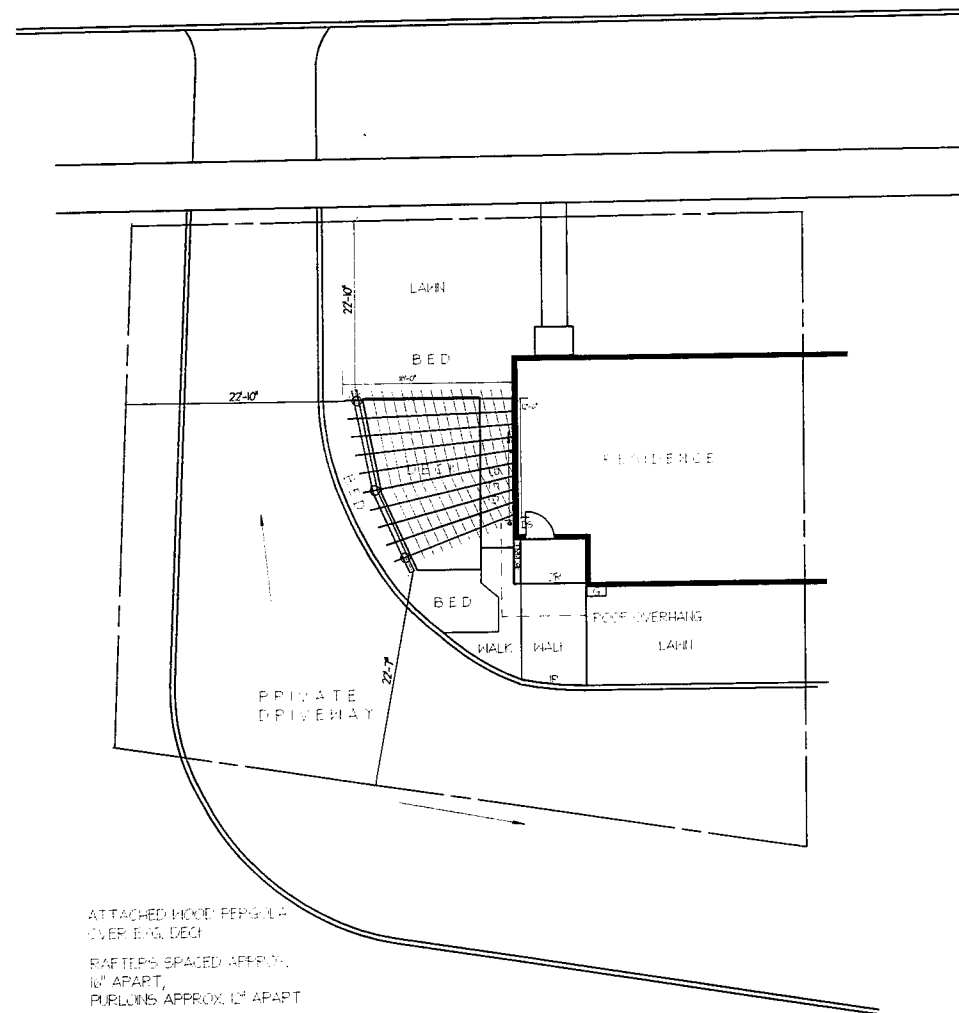
1408 WILMETTE AVE  
WILMETTE

LOT #  
PERGOLA SETBACKS

SCALE: 1"=20'-0"

DRAWN BY: TK/TSV

(c) 2020  
NATURE'S PERSPECTIVE



ATTACHED HOOD PERGOLA  
OVER ENG. DECK  
RAFTERS SPACED APPROX.  
16" APART,  
PURLINS APPROX. 12" APART  
3 POSTS IN GROUND  
SET CLOSE TO DECK



0 5 10 20  
SCALE IN FEET



2000 GREENLEAF ST  
EVANSTON, IL 60202  
847-475-7917  
natureperspective.com

## GODFREY RESIDENCE

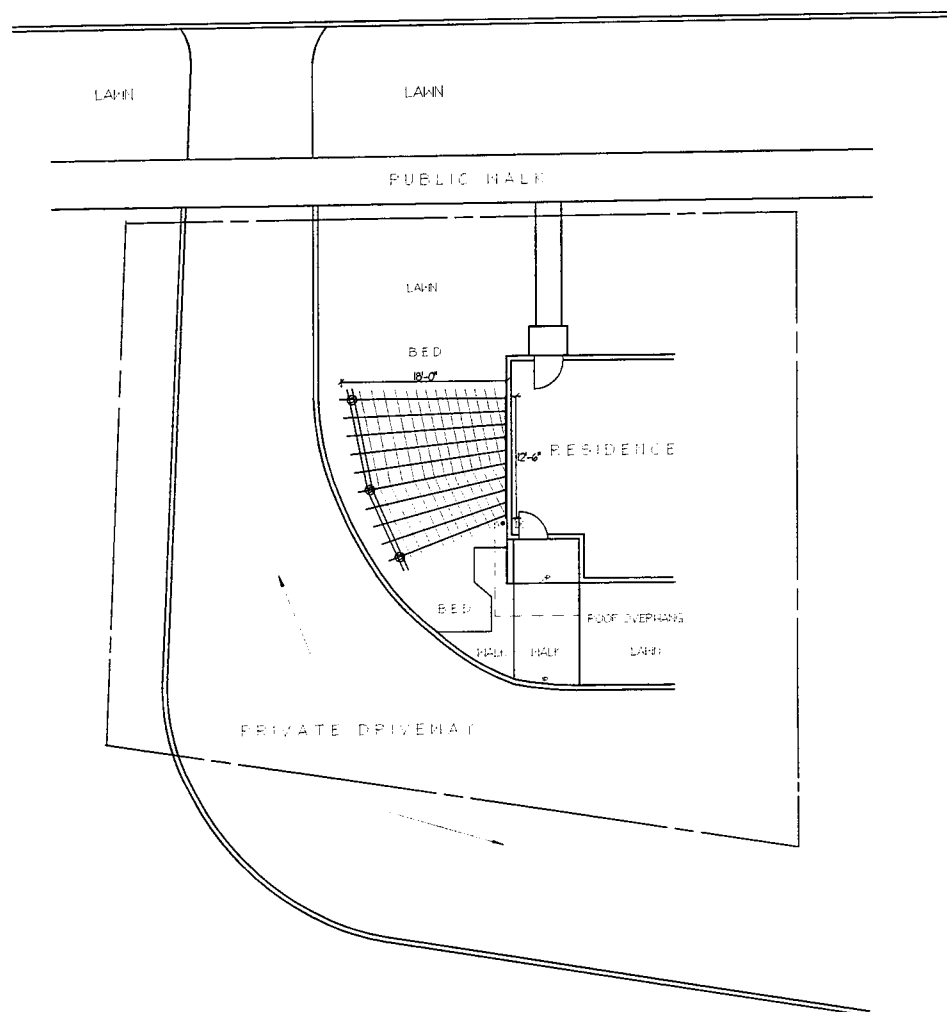
1408 WILMETTE AVE  
WILMETTE

PERGOLA  
PLAN

SCALE: 1"=20'-0"

DRAWN BY: TK/TSV

(c) 2020  
NATURE'S PERSPECTIVE



0 5 10 20  
SCALE IN FEET



2000 GREENLEAF ST  
EVANSTON, IL 60202  
847-475-7917  
natureperspective.com

## GODFREY RESIDENCE

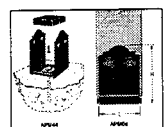
1408 WILMETTE AVE  
WILMETTE

PERGOLA  
FRAMING PLAN

SCALE: 1"=20'-0"

DRAWN BY: TK/TSV

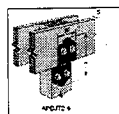
(c) 2020  
NATURE'S PERSPECTIVE



(3) 12" DIA. POURED  
CONCRETE FOOTINGS  
42" DEEP, EACH WITH  
SIMPSON POST BRACKET  
ATTACHED TO 6X6 CEDAR POSTS

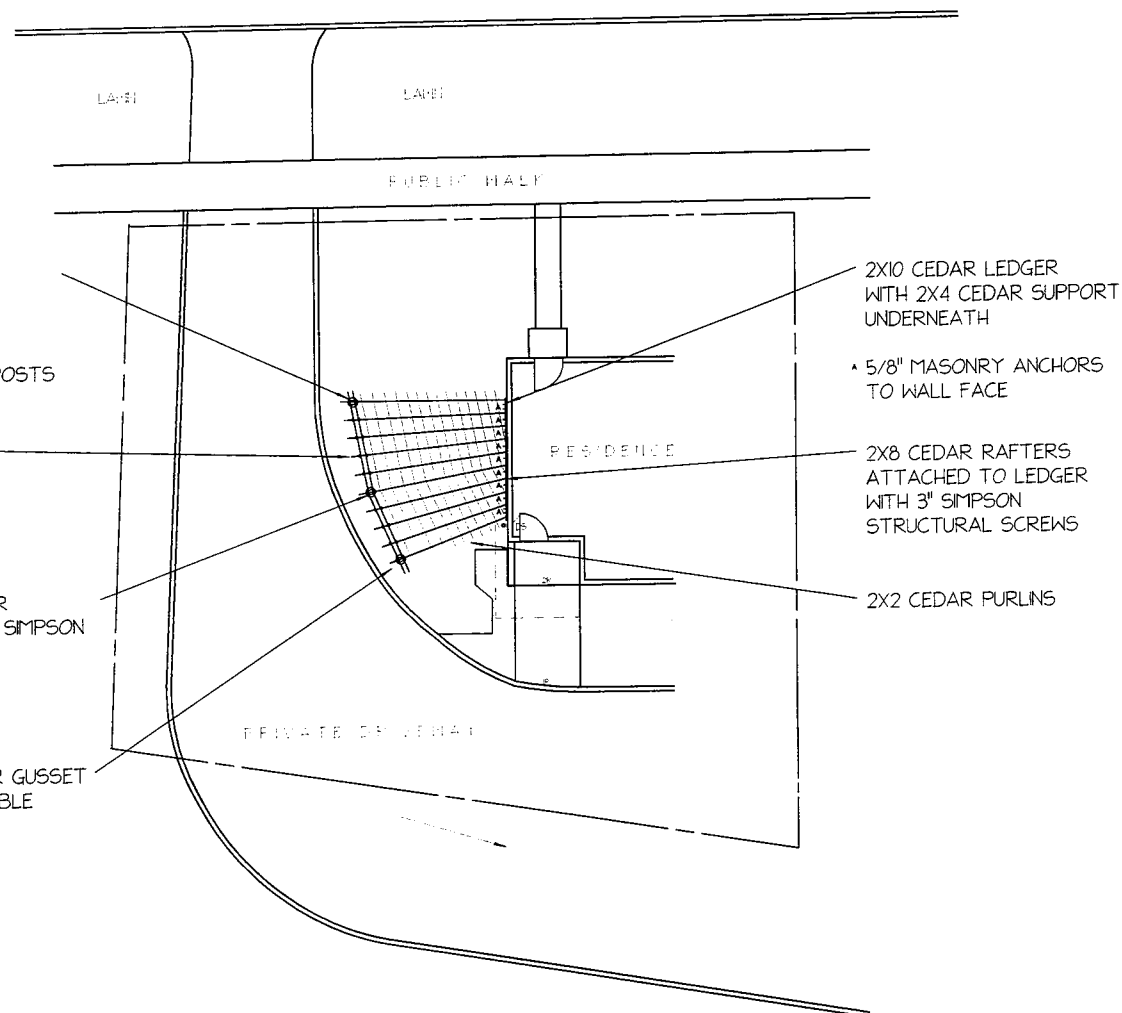
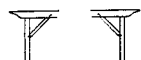


2X8 CEDAR RAFTERS  
ATTACHED TO HEADER  
WITH SIMPSON RAFTER TIES



2X10 CEDAR DOUBLE HEADER  
ATTACHED TO POSTS WITH SIMPSON  
SECURE JOISTS WITH TIES

AT POST ENDS, 4X6 CEDAR GUSSET  
FASTENED TO POST & DOUBLE  
HEADERS WITH SIMPSON  
STRUCTURAL SCREWS 5"



0 5 10 20  
SCALE IN FEET

**Report to the Appearance Review Commission  
from the  
Department of Community Development**

**Case Number:** 2021-AR-47

**Property:** 200 Skokie Boulevard

**Zoning District:** NR, Neighborhood Retail

**Petitioner:** Marcus Cook, as agent

**Request:** The petitioner requests an Appearance Review Certificate to construct additions, remodel the exterior of the existing building, install new building and site lighting, erect a new fence and install new wall mounted signs and one ground externally illuminated sign.

**Applicable Provisions of Ordinances:** 20-3.5, Appearance Review Commission Powers  
20-5.7, Appearance Review Certificate

**Meeting Date:** March 7, 2022

**Date of Application:** February 9, 2022

**Notices:** Legal Notice published in Wilmette Life, February 17, 2022  
Certificate of Posting dated, February 17, 2022  
Personal Notice Affidavit, February 18, 2022

**Report Prepared By:** Lucas Sivertsen, AICP  
Business Development Coordinator

--

## **Description of the Property**

The subject property is zoned NR, Neighborhood Retail Business, and is located on the northeast corner of Old Glenview Road and Skokie Boulevard. The property has 268.25' of frontage on Skokie Boulevard, 138.6' of frontage on Old Glenview Road, and an area of 41,087 square feet per the plat of survey. The property is improved with a one-story building formerly occupied by Baker's Square restaurant. The building was vacated in March of 2019.

The Subject Property is surrounded by a mix of residential and commercial uses. To the north is a townhome development located in the R2, Attached Residence District. To the east are single-family homes located in the R1-A, Single-Family Detached Residence District. To the south across Old Glenview Road is a shopping center located in the NR, Neighborhood Retail Business District. To the west across Skokie Boulevard is a shopping center located in the NR, Neighborhood Retail Business District, and townhomes located in the R2, Attached Residence District.

## **Description of Request**

The petitioner requests an Appearance Review Certificate to construct additions, remodel the exterior of the existing building, install new building and site lighting, erect a new fence and install new wall mounted signs and one ground externally illuminated sign.

The proposal was reviewed by the Zoning Board of Appeals on Wednesday, February 16, 2022 where the applicant was seeking a special use permit to operate a business use occupying more than 5,000 square feet. The Zoning Board unanimously recommended approval. The request is scheduled to be reviewed by the Village Board on Tuesday, March 8, 2022. The Village Board will be reviewing several conditions proposed by staff including requiring the applicant to apply for a variation to install an 8 foot tall fence along the rear and side property lines abutting neighboring residences and requiring the illuminated signage to be turned off after business hours.

## **Action Required**

The Appearance Review Commission can grant an Appearance Review Certificate provided the proposal meets the following standards of review:

### **Appearance Review Certificate Standards of Review**

1. All sides of a structure receive design consideration.
2. If the side or rear of the structure faces a street, a residential use, or a property located in a residential zoning district, the exterior materials used on the side or rear are comparable in character and quality to the exterior materials used on the facade of the structure.
3. Materials used in the construction and design of the structure are of durable quality.
4. Mechanical equipment is located or screened so as not to be visible from surrounding streets and properties.



5. The scale and placement of the structure on the site is appropriate to the proportion of the site covered by the structure and the location of the structure in relation to its lot lines.
6. Building design and placement must take into consideration natural grade conditions, existing vegetation, and other natural features.
7. Excessive similarity or dissimilarity in design in relation to surrounding or adjoining structures is discouraged, including but not limited to building height, exterior materials, building mass, roof line, and architectural features.
8. Design takes into consideration the relationship to the street and the pedestrian environment.
9. Parking, storage, and refuse areas are located and screened so as not to negatively affect neighboring properties.
10. Landscape is designed to maintain existing mature trees and shrubs to the maximum extent possible.
11. Landscape provides an aesthetically pleasing design and, where applicable, provides for the screening of parking, storage, refuse, and utility areas from the street and adjacent residential properties.
12. Selected plant materials shall be suitable to Wilmette's climate and to their location on the site. The use of invasive species is prohibited. Invasive species shall be those included in the "Chicago Botanic Garden" list of "Invasive Plants in the Chicago Region."
13. Parking areas are designed to achieve efficient traffic flow and minimize dangerous traffic movements.
14. Signs are of the appropriate design, color and placement to the structure, site and adjoining properties, in terms of materials, height, setback from the street, and proportion.
15. Accessory structures, exterior lighting and fences, complement the overall structure and site design, in terms of materials, size, and architectural character.
16. For new two-unit dwellings, review is limited to whether or not the proposed structure maintains the external appearance of a single-family dwelling.

## **Case File Documents**

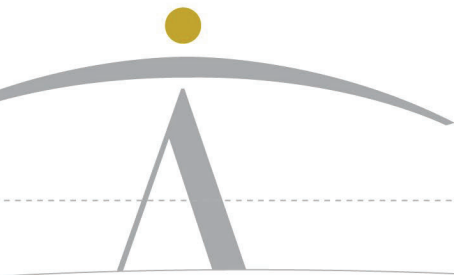
### **Written Correspondence**

- 1.1 Zoning Review Response Letter, dated March 1, 2022

### **Location Maps and Plans**

- 2.1 GIS Map
- 2.2 Site Plan

- 2.3 Existing Conditions Photos
- 2.4 Floor Plan
- 2.5 Roof Plan
- 2.6 Elevations
- 2.7 Elevations
- 2.8 Building Section
- 2.9 Exterior Finishes
- 2.10 Sign Plan
- 2.11 Photometric Plan
- 2.12 Renderings
- 2.13 Landscape Plan
- 2.14 Plant List
- 2.15 Tree Plan
- 2.16 Mechanical Plans
- 2.17 Siding Specification Sheets
- 2.18 Window Cut-Sheets
- 2.19 Overhead Door Cut-Sheets
- 2.20 Exterior Paint Cut-Sheet
- 2.21 Light Fixture Cut-Sheets



March 1, 2022

Village of Wilmette  
1200 Wilmette Ave  
Wilmette, Illinois 60091

**Attention:**

Mr. Lucas Sivertsen, AICP  
Department of Community Development  
Appearance Review Comments -

Re: **Murray Bros. Caddyshack Restaurant – Appearance Review Comments Updates**  
Renovation and Addition to existing restaurant property  
200 Skokie Boulevard

Mr. Sivertsen:

On behalf of the Murray Bros. Caddyshack Team, please find the additional information in regard to the original responses to the Appearance Review Comments received from the Village dated November 29, 2021, and the responses to the additional comments received February 20, 2022 in preparation for the upcoming Appearance Review Committee Meeting on March 7, 2022.

**General Comments**

1. Separate Site Plan Review Comments will be provided. Please provide line by line response to the following review comments.

**Response:** Understood.

2. Please provide requested plans by Monday, February 28 except where otherwise stated.

**Response:** Thank you for the additional time.

3. Provide sign plans showing dimensions, materials, lighting (This can be under a separate application at a later date). Roof [signs] are prohibited and would require a sign variation.

**Response:** Please refer to the attached signage layout drawings for the design intent of the building wall sign and the monument sign. The Owner has elected to remove the roof mounted sign from the project. A formal signage permit application will be submitted by the signage vendor in the future.

## Landscape Plan

4. Please consider lower height grasses at egress to north curb-cut to improve sight lines for pedestrians.  
**Response:** This has been revised on the resubmitted landscape plan.
5. Please find replacements for proposed crabapple and winter creeper.  
**Response:** This has been revised on the resubmitted landscape plan.
6. Please clarify key name for 26 shrubs screening north parking lot. ARB on plan and ARM on schedule.  
**Response:** This has been clarified on the resubmitted landscape plan.

## Photometric Plan

7. Mounting heights of light fixtures cannot exceed 18 feet. Please reduce from 20 feet to 18 feet.  
**Response:** This has been revised on the resubmitted photometric plan.
8. Recommend lighting color of 3,000 K rather than proposed 4,000K.  
**Response:** Our preference is to keep the 4,000K lamps as originally submitted for several reasons. First, there are some of the exterior wall fixtures do not come in the lower color temperature LED's and there is some lose of efficiency. While not great, it does drop the footcandle levels by about 4% which in addition to the lower pole height does reduce the level. Finally, the primary exterior colors are neutrals / greys, and the warmer color temperature does change them more so than the whiter light of 4000k. Please confirm the 4000K lamping will be acceptable to the Village.

## Site Plan

9. Need wall section and finish materials for 24" seat wall along Skokie.  
**Response:** The purpose of this wall is to address the grade change between the existing public walk and the accessible parking / entry walk. Since the existing sidewalk grades cannot be adjusted, this allows the patio area to remain at accessible slope from the parking area to the entry doors. The wall will be constructed of a stacked stone masonry (refer attached image) with a limestone cap. A section through the wall is attached and physical samples will be brought to the March 7 meeting.
10. Ground Sign – need wall section and elevations  
**Response:** Please refer to the attached Sign Drawing S-1
11. Provide outdoor dining seating plan when completed. This will be reviewed separately from building permit and can come later under separate submittal when ready.  
**Response:** As previously noted, the concrete patio area adjacent to the west elevation and the site wall will be used by patrons waiting for a table with the possibility of a small seating area. This has been tagged on A3. Once a seating plan has been established / type of seating defined, this will be submitted to the Village. As noted, it will be a separate permit.

## Floor Plan

12. Wall section of addition to cooler. How tall is the condensing unit?

**Response:** The condenser units are 18" tall, a cut sheet is attached. The units have been relocated to the main kitchen roof (from the cooler roof) as shown. The cooler could not accommodate the additional snow load that two screen walls would create. The units will sit on the sloped portion of the roof but remain below the parapet.

13. Show size and location of dumpsters in trash enclosure. (trash, grease receptacle, recycling)

**Response:** The existing masonry trash enclosure on the east elevation of the building (there is currently an exterior cooler inside it) will be rebuilt in the same location and used as the trash enclosure. A sketch is attached showing the 6 yard garbage dumpster, 4 yard recycling and 250 gallon grease disposal.

### Roof Plan

14. Show location of proposed exhaust, make-up air units, air handling unit and condenser units

**Response:** The existing "bathtub" area above the kitchen will continue to be the location of the new roof mounted mechanical equipment. Please refer to attached A4 and A7 for locations of equipment.

### Elevations

15. Finish on gutter and downspouts?

**Response:** The gutters and downspouts will be a prefinished aluminum to match the new aluminum sheet metal roofs and trim. The proposed color is Pac-Clad Slate Gray or Charcoal. A sample will be presented at the ARC review meeting.

16. What is the material of the golf ball?

**Response:** Please refer to signage drawing S2 for additional information. Formal signage shop drawings will be submitted with signage application.

### Building Sections

17. Show mechanical equipment on A7 to verify all [will] not exceed height of the parapet.

**Response:** Please refer to updated A7 and equipment cut sheets for heights of equipment in relation to the parapet height.

### Exterior Finishes

18. Provide manufacturer cut-sheets on the finishes and physical samples where available.

**Response:** Refer to the cement board siding information included. Physical samples and paint colors will be brought to ARC meeting on 3/7 for the committee to review.

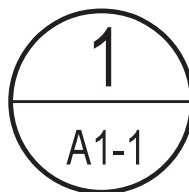
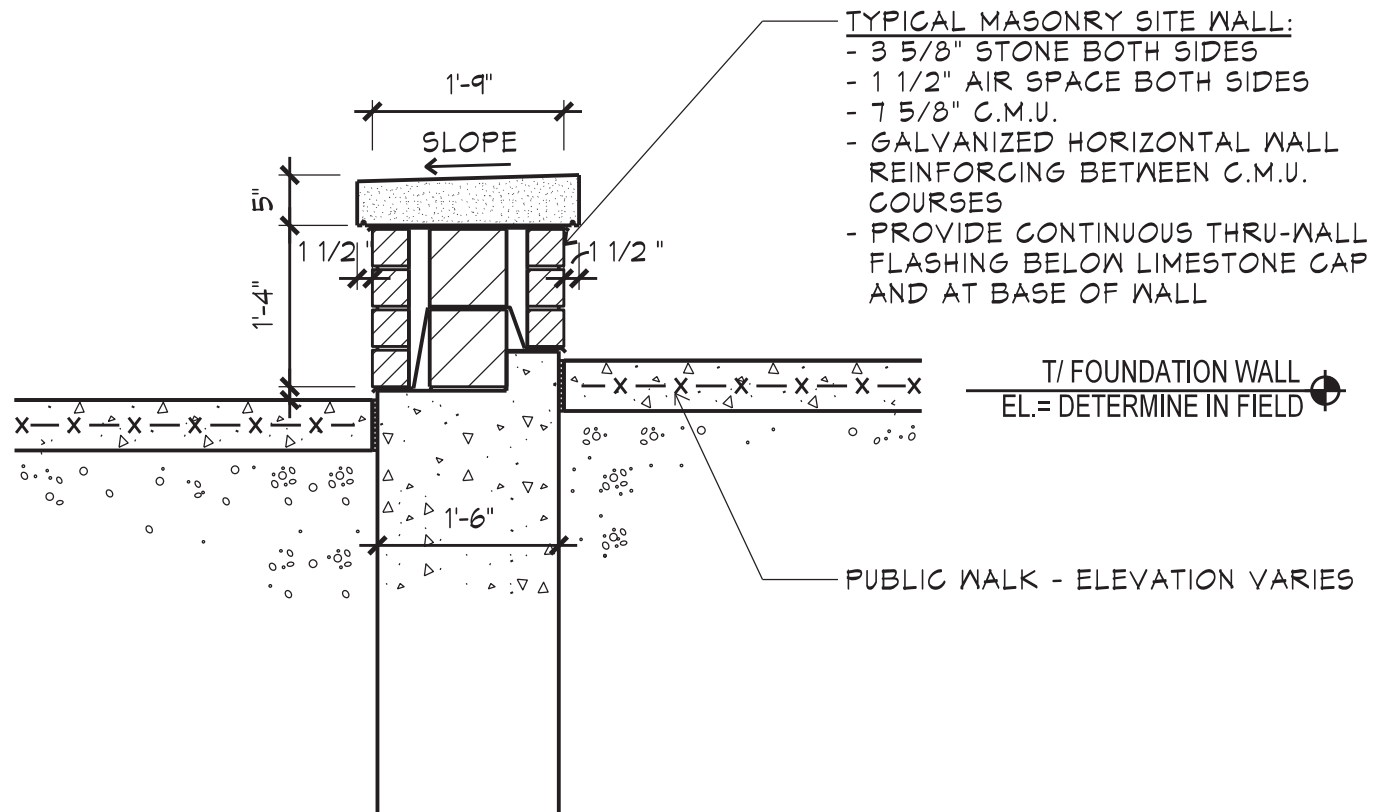
Thank you for your time and flexibility with the staggered submittal of information. Please do not hesitate to reach out if there are questions.

Sincerely,



Karen M. Kristianson, A.I.A., LEED AP  
Architect

cc: Mr. Mac Haskell, Mr. Andy Murray, MBC Wilmette LLC.  
Mr. Marcus Cook, KMPC Inc.  
Mr. Michael Tenuta, Ms. Heather Curtis, Strategic Project Advisors  
Ms. Dawn Newman, Newman Architecture  
File



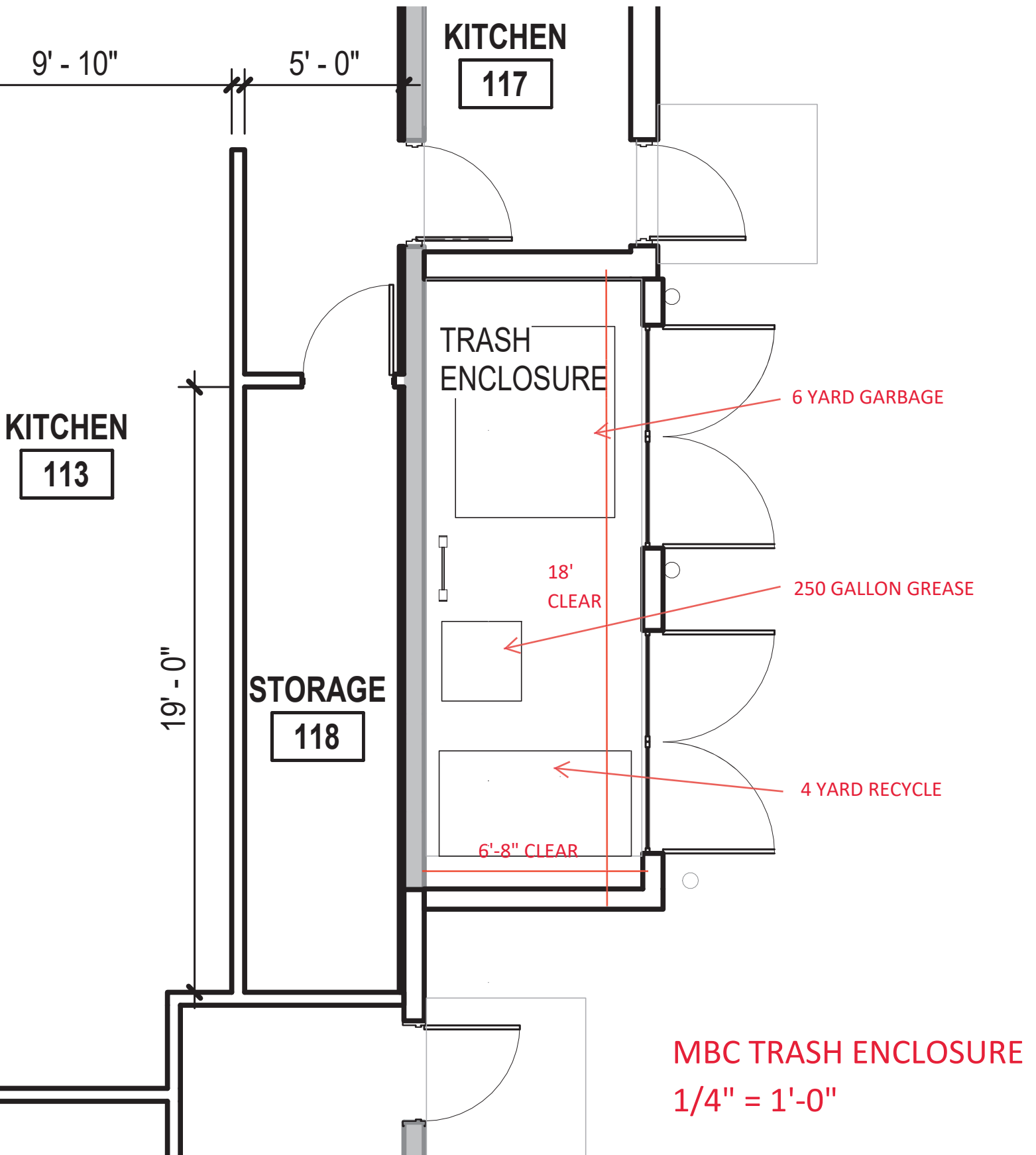
# TYPICAL MASONRY SITE WALL

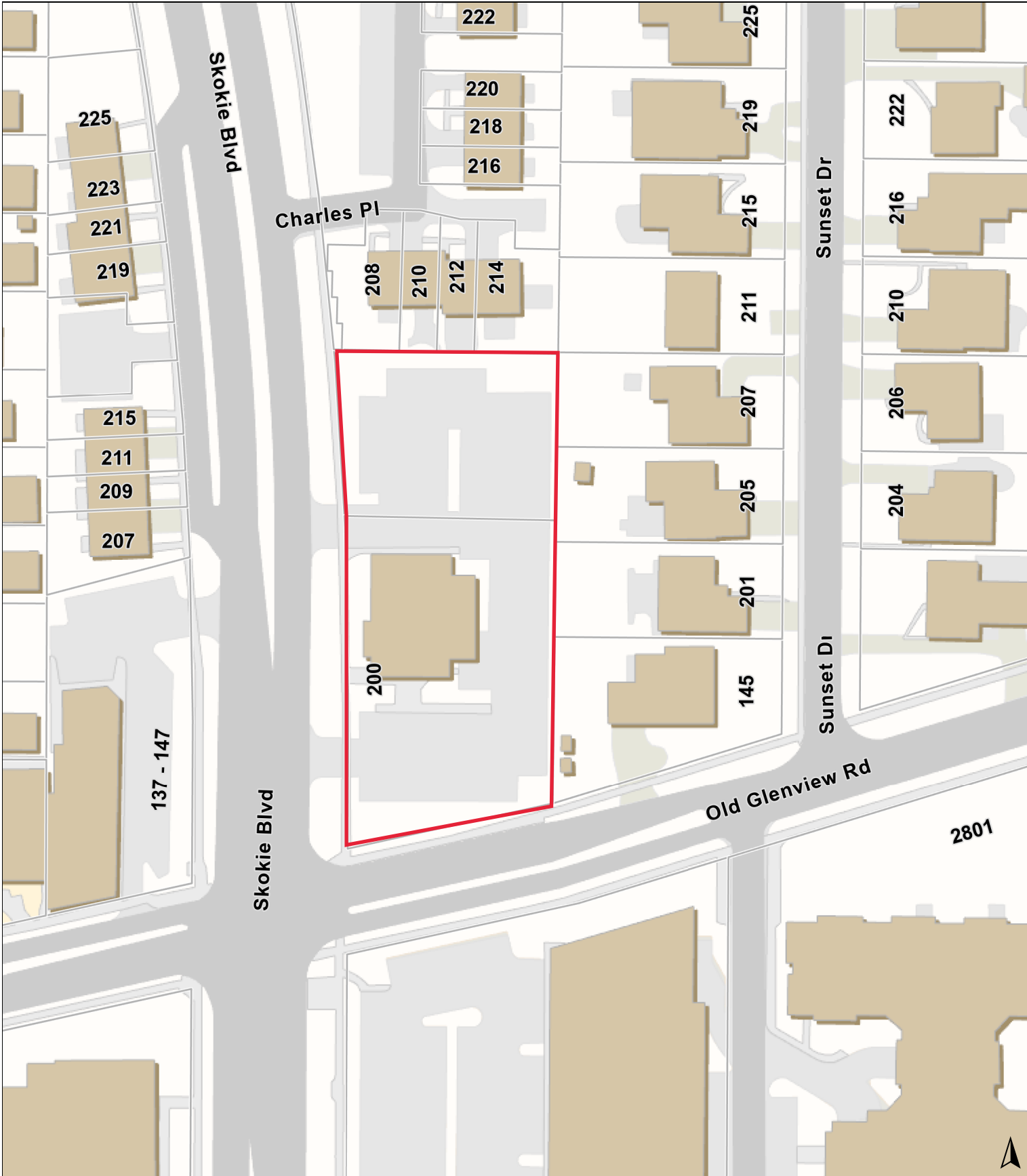
SCALE: 1/4"=1'-0"













newman architecture  
1730 Park Street, Suite 115, Naperville, Illinois 60563-2611  
(630) 420-1600 FAX (630) 420-1987 newmanarchitecture.com

VILLAGE SUBMITTALS

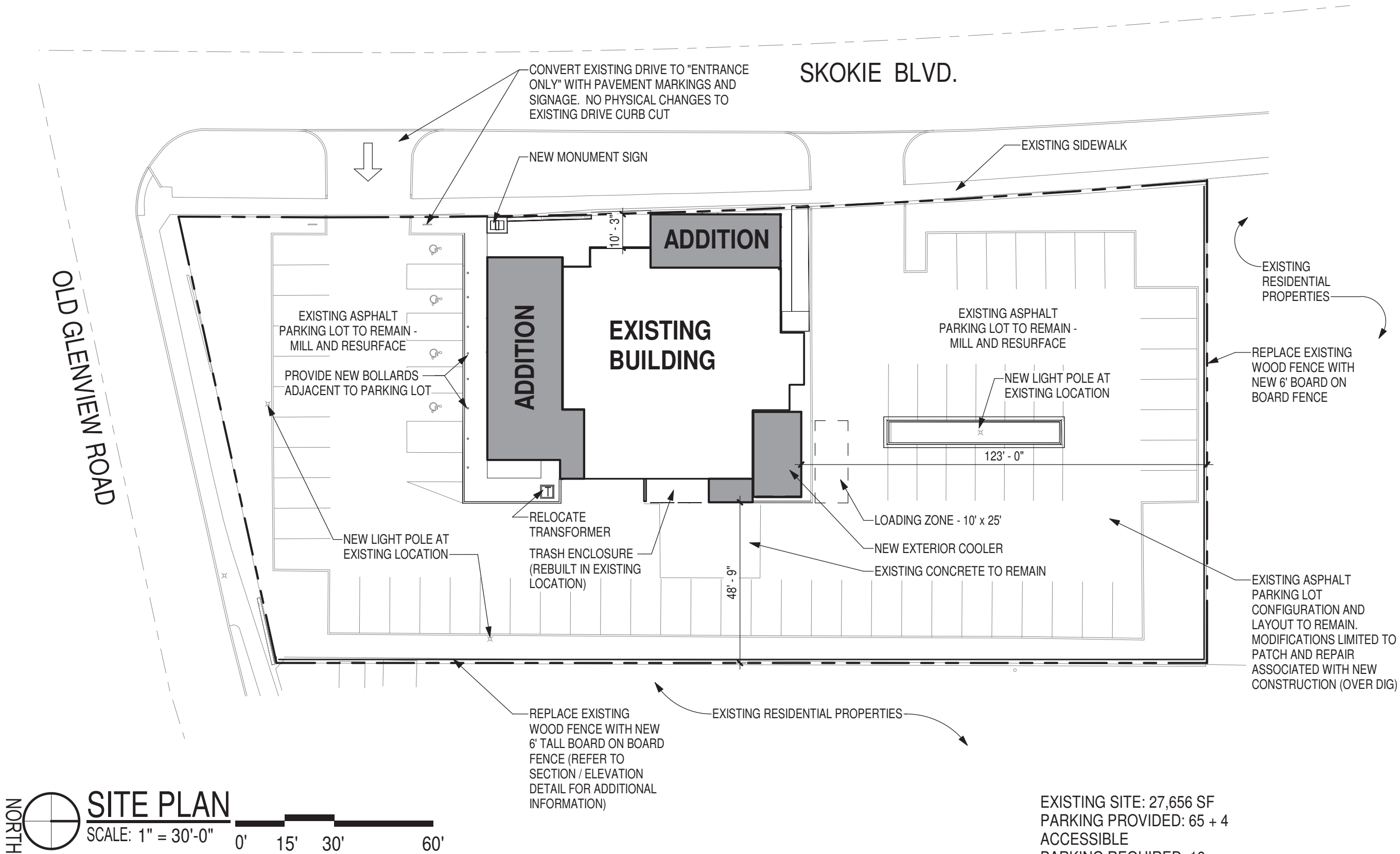
MURRAY BROS.  
CADDYSHACK  
RESTAURANT  
RENOVATION AND  
ADDITION

200 SKOKIE BOULEVARD  
WILMETTE, IL 60091

For:  
MBC WILMETTE LLC.

CONCEPTUAL  
ARCHITECTURAL SITE  
PLAN

PROJECT NO.: 21042  
DATE: 2/8/22



EXISTING SITE: 27,656 SF  
PARKING PROVIDED: 65 + 4  
ACCESSIBLE  
PARKING REQUIRED: 18  
(SECTION 30-14.5 TABLE 14-1) 5 PER 1,000 G.S.





EXISTING SOUTH ELEVATION



EXISTING NORTH ELEVATION



EXISTING EAST ELEVATION



ADJACENT PROPERTY EAST OF  
BUILDING (OLD GLENVIEW ROAD)



ADJACENT PROPERTY NORTH OF BUILDING  
(SKOKIE BOULEVARD)



ADJACENT PROPERTY WEST OF BUILDING  
(SKOKIE BOULEVARD ACROSS STREET)



EXISTING STREET VIEW OF PROPERTY



EXISTING STREET VIEW FROM ACROSS  
SKOKIE BOULEVARD



EXISTING STREET VIEW FROM OLD GLENVIEW ROAD



newman architecture

1730 Park Street, Suite 115, Naperville, Illinois 60563-2611  
(630) 420-1600 FAX (630) 420-1987 newmanarchitecture.com

VILLAGE SUBMITTALS

MURRAY BROS.  
CADDYSHACK  
RESTAURANT  
RENOVATION AND  
ADDITION

200 SKOKIE BOULEVARD  
WILMETTE, IL 60091

For:  
MBC WILMETTE LLC.

EXISTING SITE  
REFERENCE PHOTOS

PROJECT NO.: 21042

DATE: 2/8/22

A2





## VILLAGE SUBMITTALS

MURRAY BROS.  
CADDYSHACK  
RESTAURANT  
RENOVATION AND  
ADDITION

200 SKOKIE BOULEVARD  
WILMETTE, IL 60091

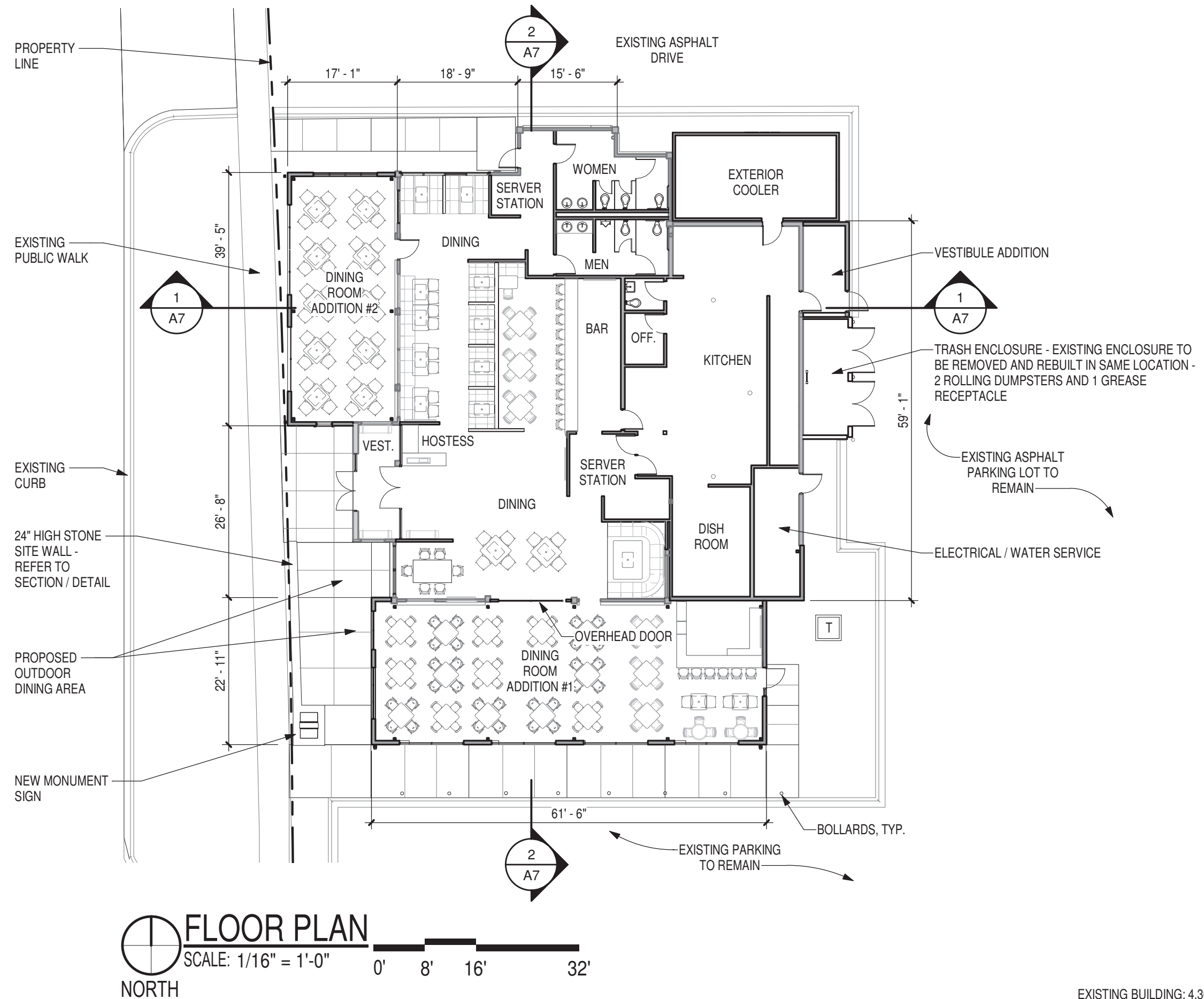
For:  
MBC WILMETTE LLC.

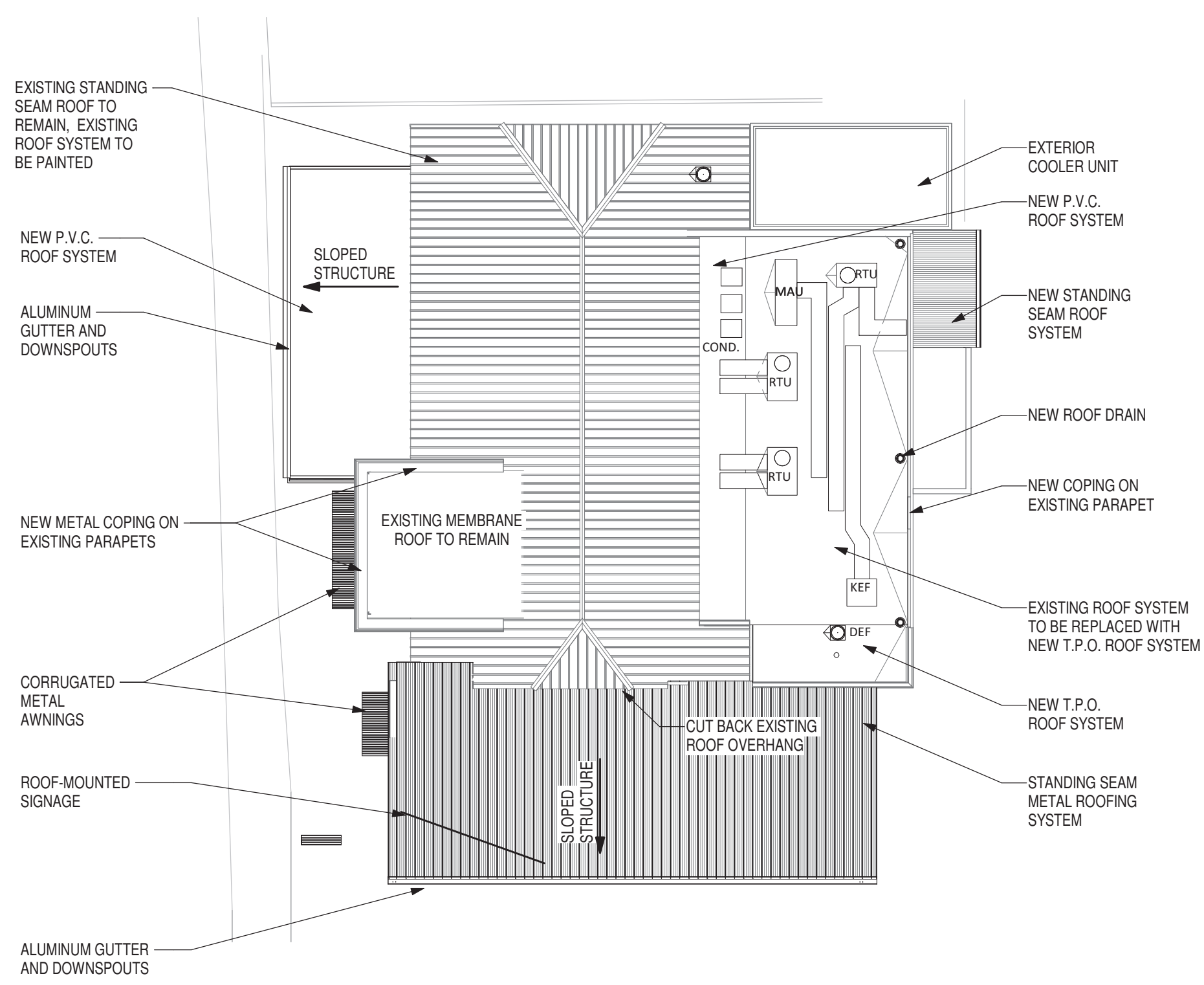
# CONCEPTUAL ARCHITECTURAL FLOOR PLAN

PROJECT NO.: 21042

DATE: 2/8/22

# A3





 **ROOF PLAN**  
SCALE: 1/16" = 1'-0"   
NORTH



**newman architecture**  
1730 Park Street, Suite 115, Naperville, Illinois 60563-2611  
(630) 420-1600 FAX (630) 420-1987 newmanarchitecture.com

**BUILDING SIGNAGE**

**MURRAY BROS.  
CADDYSHACK  
RESTAURANT  
RENOVATION AND  
ADDITION**

200 SKOKIE BOULEVARD  
WILMETTE, IL 60091

For:  
**MBC WILMETTE LLC.**

**CONCEPTUAL  
ARCHITECTURAL  
ROOF PLAN**

PROJECT NO.: 21042  
DATE: 02/25/22



newman architecture

1730 Park Street, Suite 115, Naperville, Illinois 60563-2611  
(630) 420-1600 FAX (630) 420-1987 newmanarchitecture.com

VILLAGE SUBMITTALS

MURRAY BROS.  
CADDYSHACK  
RESTAURANT  
RENOVATION AND  
ADDITION

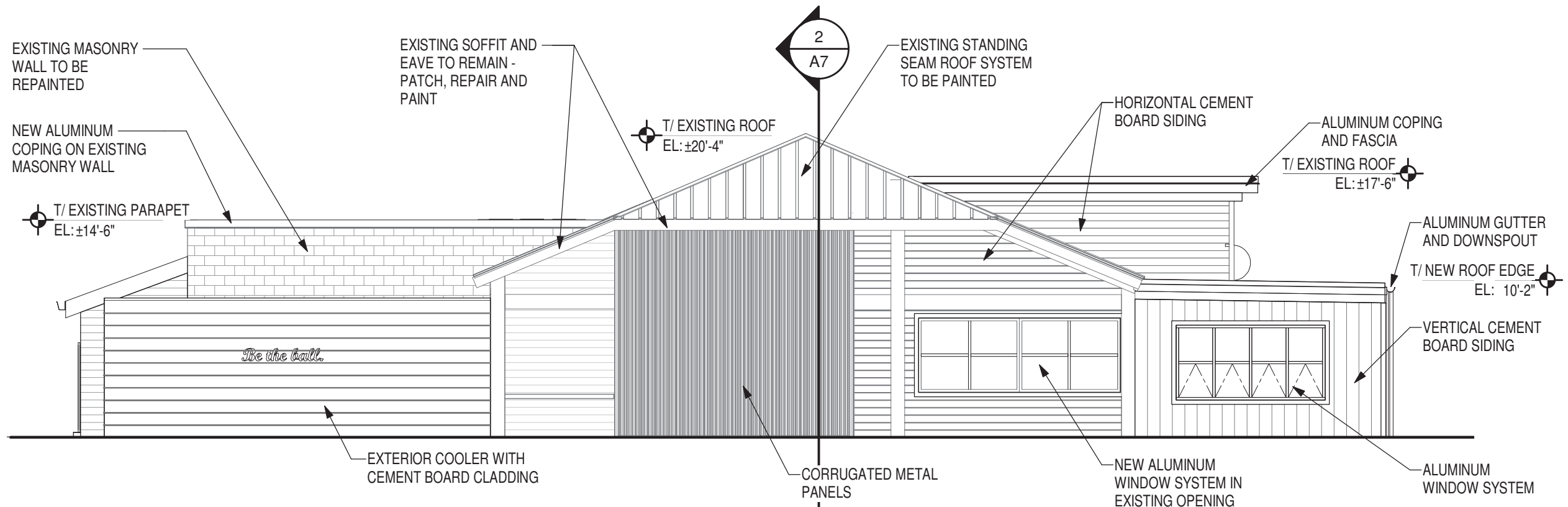
200 SKOKIE BOULEVARD  
WILMETTE, IL 60091

For:  
MBC WILMETTE LLC.

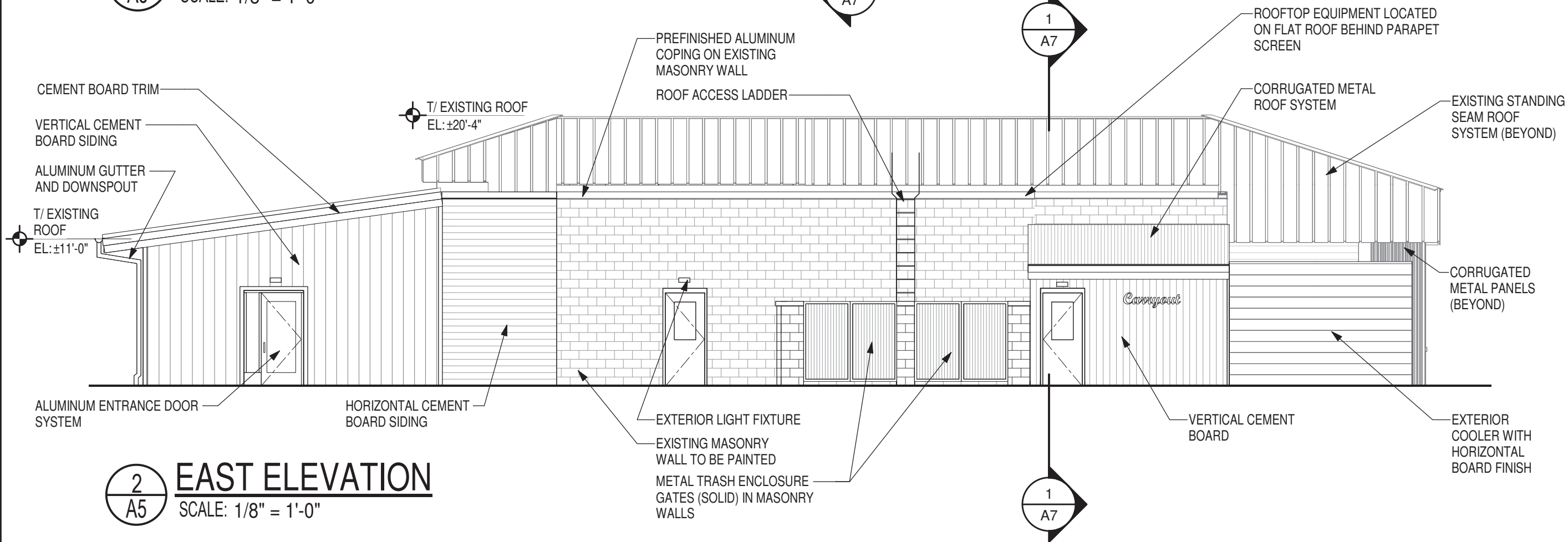
CONCEPTUAL  
EXTERIOR  
ELEVATIONS

PROJECT NO.: 21042  
DATE: 2/8/22

A5



1 NORTH ELEVATION  
A5 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION  
A5 SCALE: 1/8" = 1'-0"

## VILLAGE SUBMITTALS

MURRAY BROS.  
CADDYSHACK  
RESTAURANT  
RENOVATION AND  
ADDITION

200 SKOKIE BOULEVARD  
WILMETTE, IL 60091

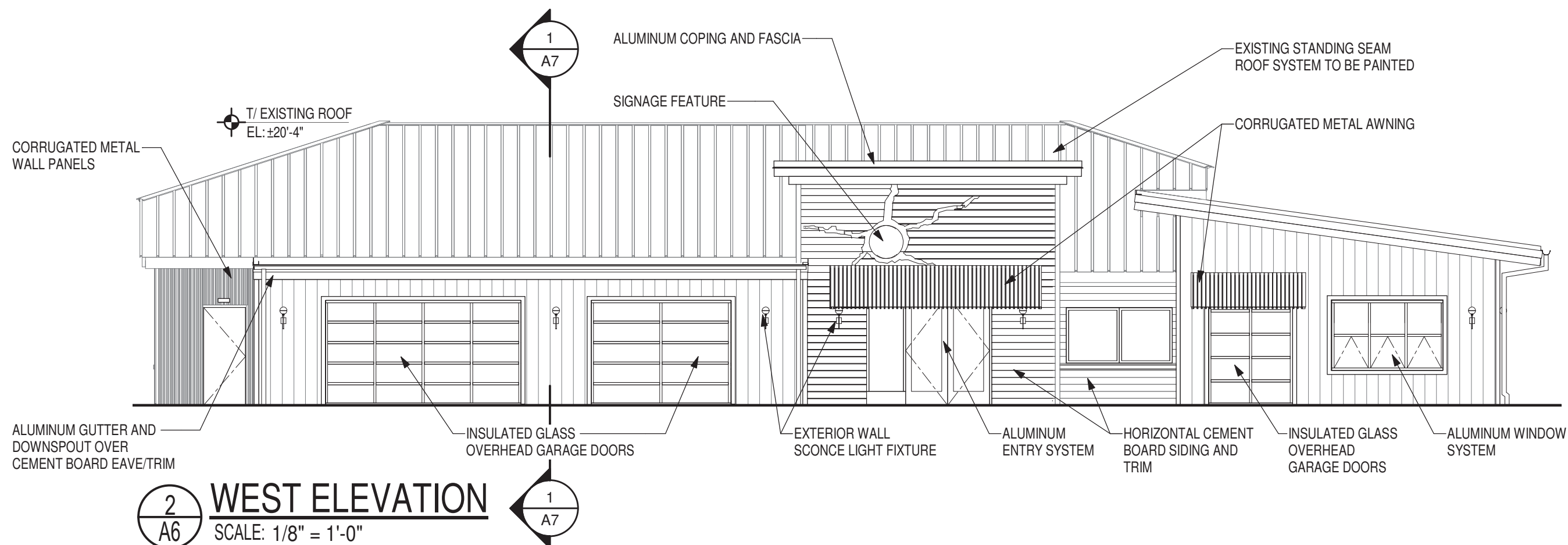
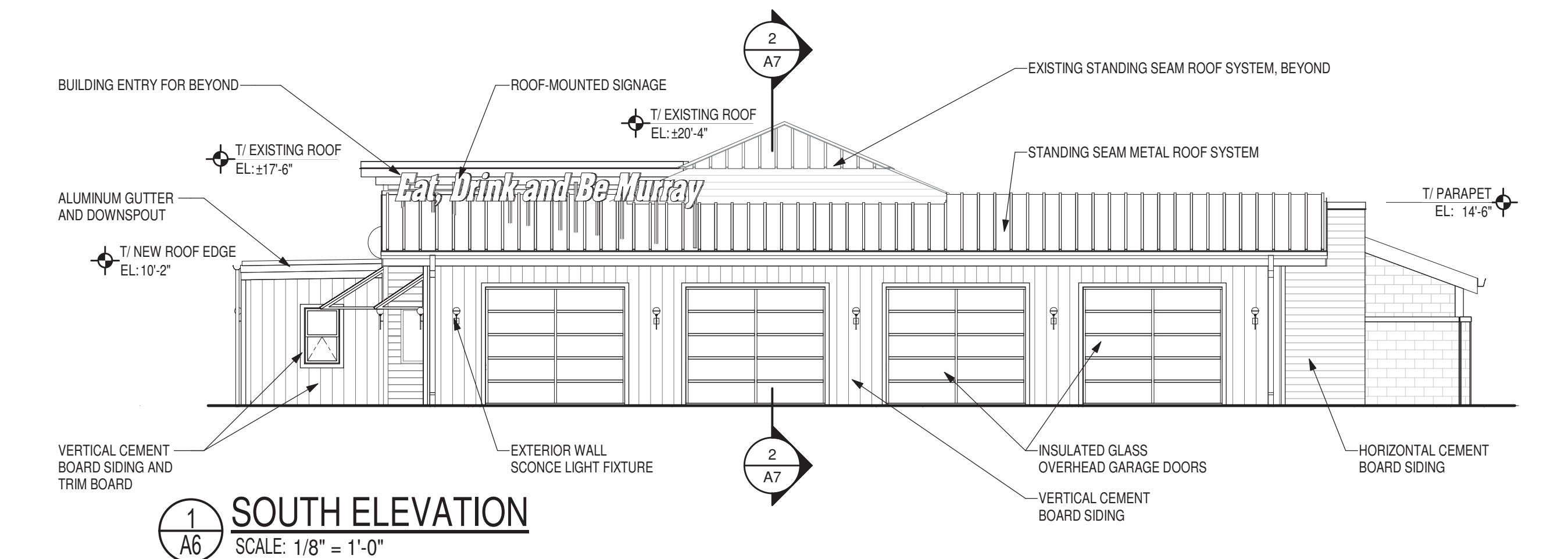
For:  
MBC WILMETTE LLC.

## CONCEPTUAL EXTERIOR ELEVATIONS

PROJECT NO.: 21042

DATE: 2/8/22

A6







newman architecture

1730 Park Street, Suite 115, Naperville, Illinois 60563-2611  
(630) 420-1600 FAX (630) 420-1987 newmanarchitecture.com

BUILDING SIGNAGE

MURRAY BROS.  
CADDYSHACK  
RESTAURANT  
RENOVATION AND  
ADDITION

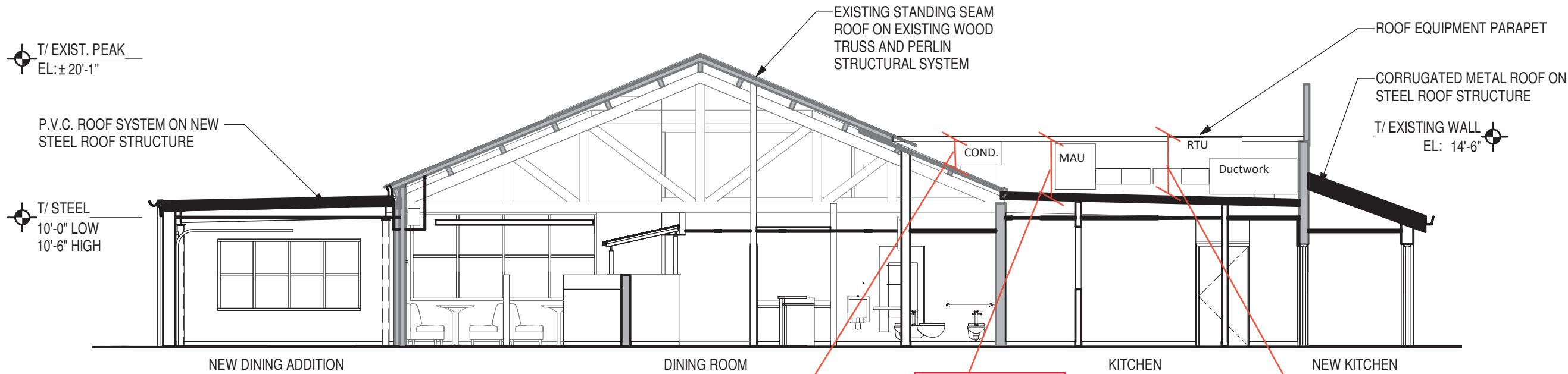
200 SKOKIE BOULEVARD  
WILMETTE, IL 60091

For:  
MBC WILMETTE LLC.

BUILDING SECTIONS

PROJECT NO.: 21042  
DATE: 02/25/22

A7

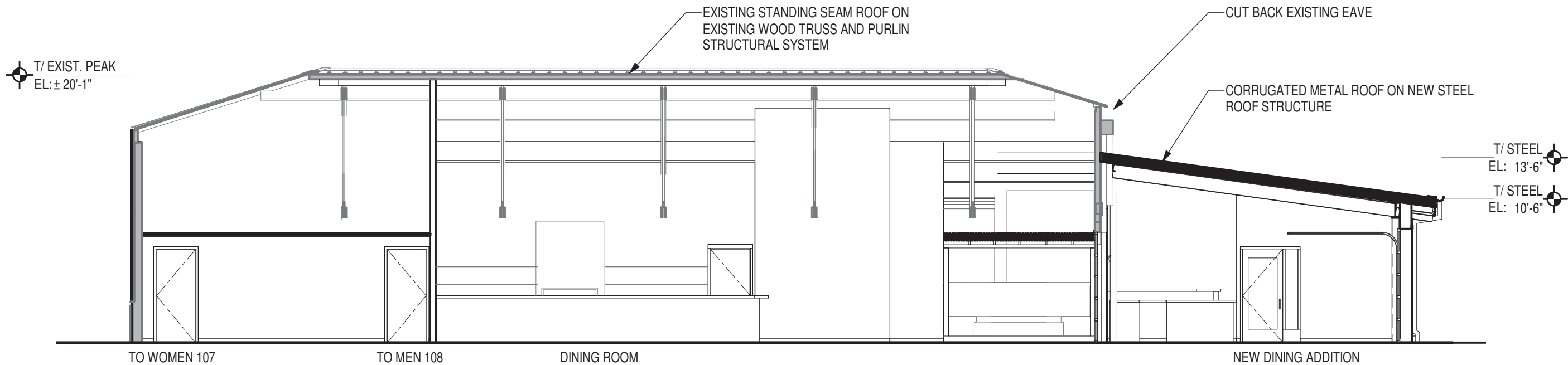


Cooler Condensing Unit:  
Curb: 8"  
Unit: 19"  
Total: 27" above roof deck  
14'-4" AFF

Make- Up Air Unit:  
Curb: 18"  
Unit: 39"  
Total: 57" above roof deck  
14'-3" AFF

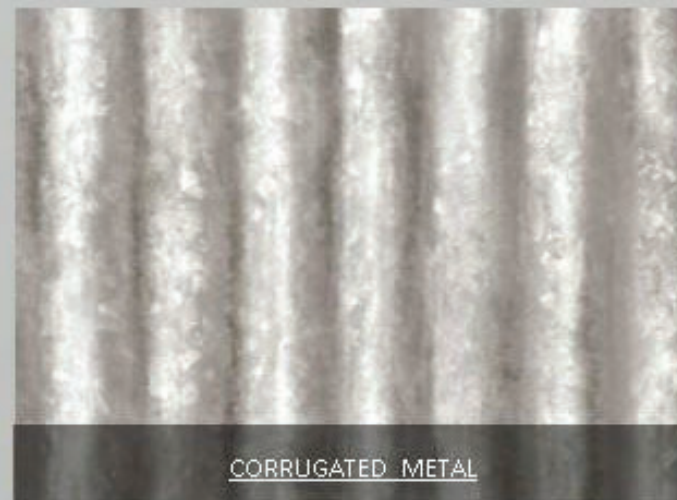
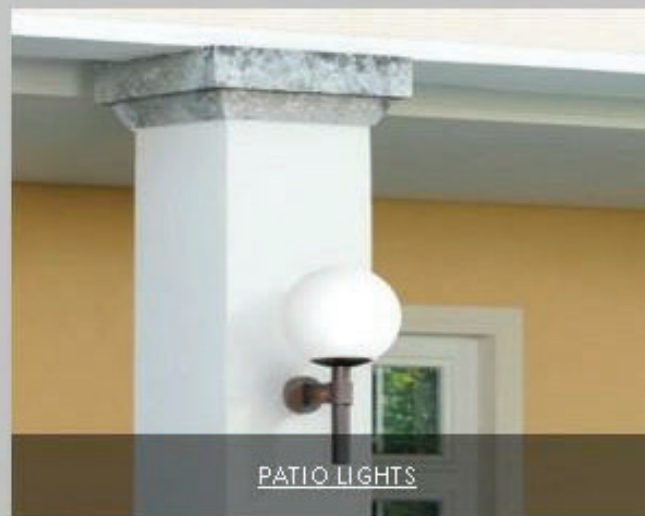
Typical Roof Top Unit:  
Curb: 18"  
Unit: 47" (4" overlap)  
Total: 57" above roof deck  
14'-6" AFF at high side, 14'-2" low side

1  
A7  
**BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



2  
A7  
**BUILDING SECTION**  
SCALE: 1/8" = 1'-0"

# EXTERIOR FINISHES



newman architecture

1730 Park Street, Suite 115, Naperville, Illinois 60563-2611  
(630) 420-1600 FAX (630) 420-1987 newmanarchitecture.com

## VILLAGE SUBMITTALS

MURRAY BROS.  
CADDYSHACK  
RESTAURANT  
RENOVATION AND  
ADDITION

200 SKOKIE BOULEVARD  
WILMETTE, IL 60091

For:  
MBC WILMETTE LLC.

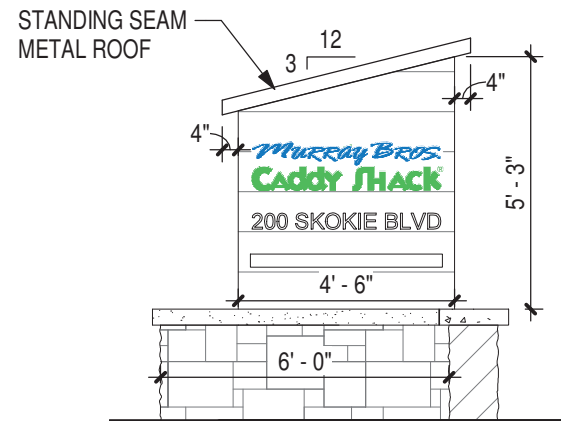
## EXTERIOR MATERIALS

PROJECT NO.: 21042

DATE: 2/8/22

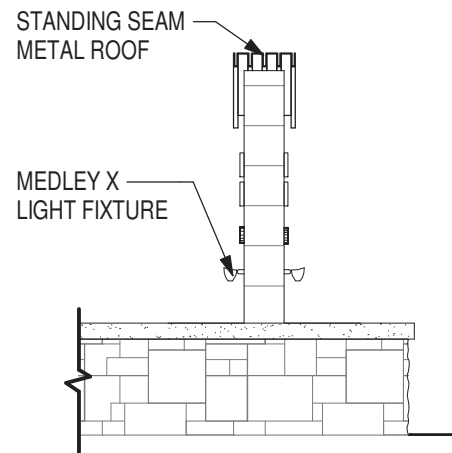
# A10





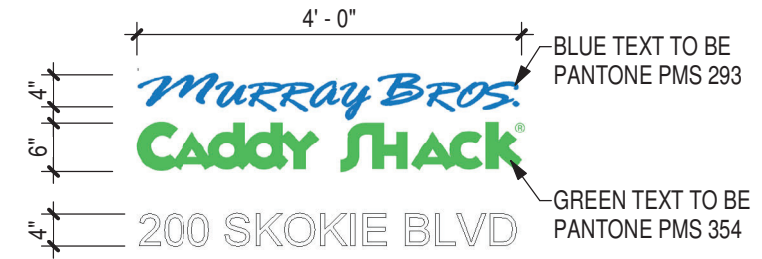
1  
S-1

**NEW MONUMENT SIGN**  
SCALE: 1/4" = 1'-0"



2  
S-1

**NEW MONUMENT SIGN**  
SCALE: 1/4" = 1'-0"



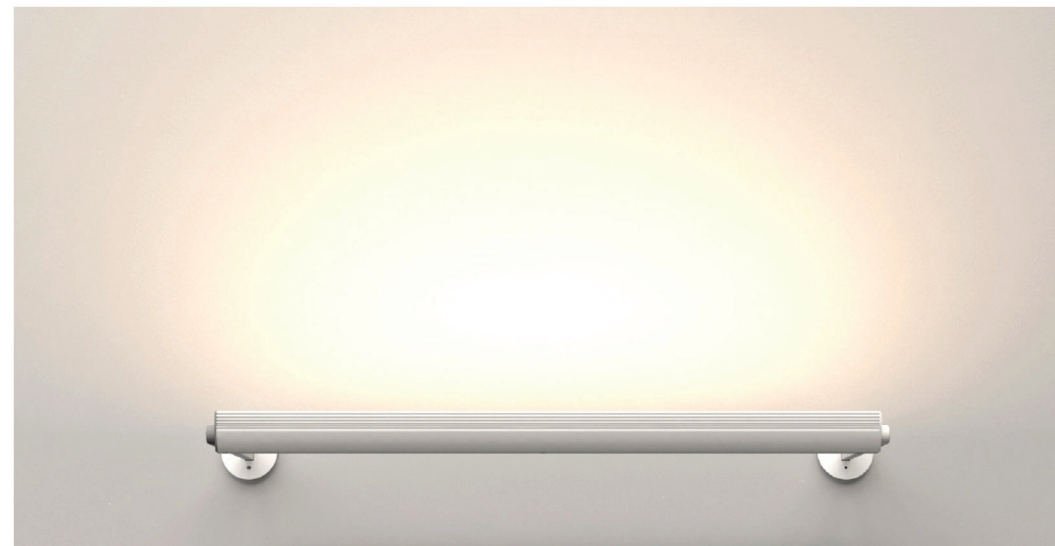
3  
S-1

**MONUMENT TEXT**  
SCALE: 1/2" = 1'-0"



4  
S-1

**NEW MONUMENT SIGN**  
SCALE: 1/4" = 1'-0"



MEDLEY X LIGHT FIXTURE



newman architecture

1730 Park Street, Suite 115, Naperville, Illinois 60563-2611  
(630) 420-1600 FAX (630) 420-1987 newmanarchitecture.com

BUILDING SIGNAGE

MURRAY BROS.  
CADDYSHACK  
RESTAURANT  
RENOVATION AND  
ADDITION

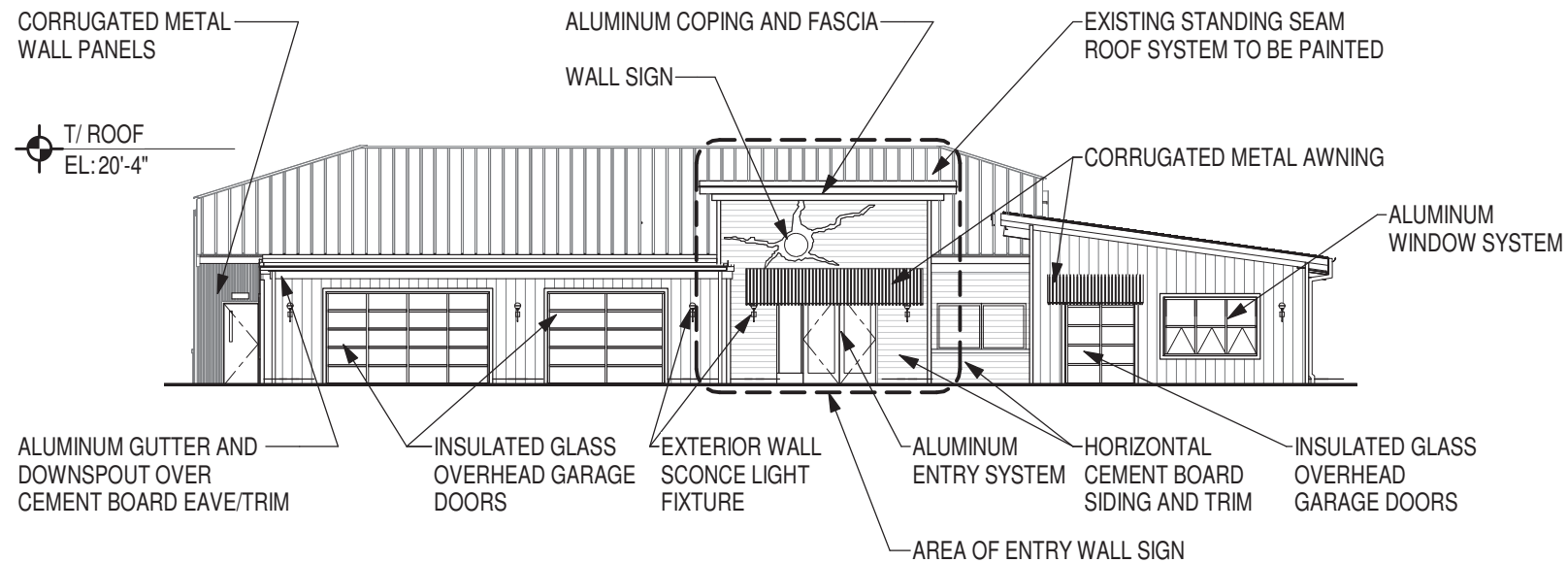
200 SKOKIE BOULEVARD  
WILMETTE, IL 60091

For:  
MBC WILMETTE LLC.

GROUND SIGN

PROJECT NO.: 21042  
DATE: 02/25/22

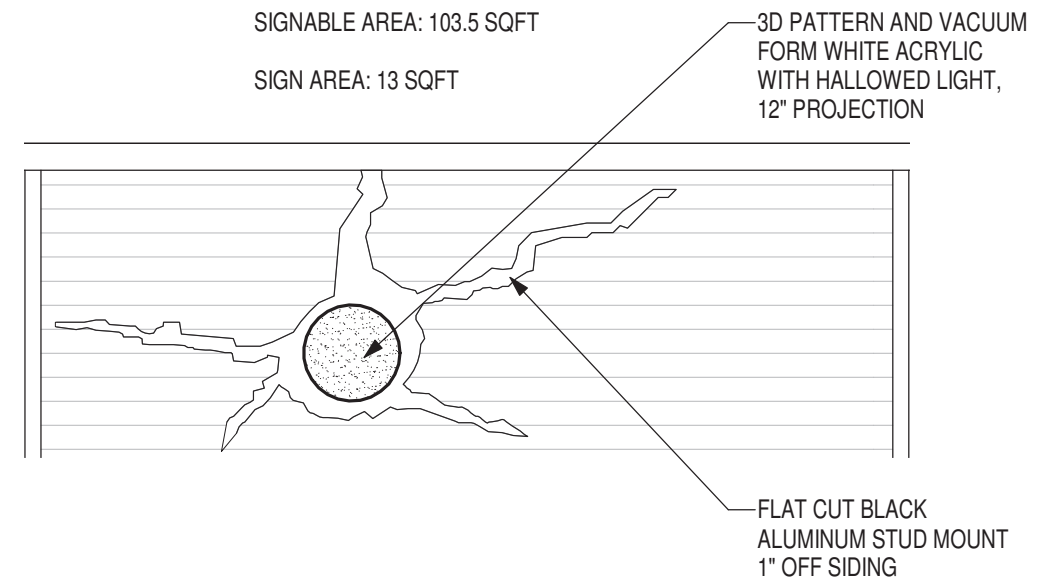
S-1



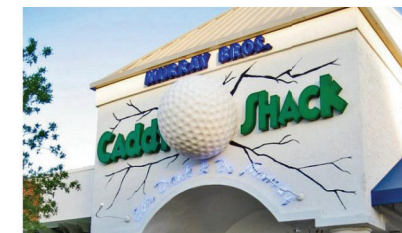
**1**  
S-2 **WEST ELEVATION**  
SCALE: 1/16" = 1'-0"



**2**  
S-2 **WALL SIGN**  
SCALE: 1/8" = 1'-0"



**3**  
S-2 **BALL DESIGN INTENT**  
SCALE: 1/4" = 1'-0"



newman architecture

1730 Park Street, Suite 115, Naperville, Illinois 60563-2611  
(630) 420-1600 FAX (630) 420-1987 newmanarchitecture.com

BUILDING SIGNAGE

MURRAY BROS.  
CADDYSHACK  
RESTAURANT  
RENOVATION AND  
ADDITION

200 SKOKIE BOULEVARD  
WILMETTE, IL 60091

For:  
MBC WILMETTE LLC.

WALL SIGN

PROJECT NO.: 21042  
DATE: 02/25/22

S-2















**DECIDUOUS TREE NOTES:**

1. PRUNE TREE TO OFFSET ROOT LOSS
2. TREE TRUNK FIBER SHALL BEAR SAME RADIUS AS FINISH GRADE AS IT BORE TO PREVIOUSLY EXISTING GRADE
3. REMOVE BURLAP & ALL WIRES FROM TOP 1/2 OF BALL MINIMUM
4. SOIL CONNECTION:  
DURING INSTALLATION TAKE A SMALL AMOUNT OF SOIL FROM TOP ANDIES OF SOIL FROM TREE AND DISIBUTE INTO PLANTING SOIL BACKFILL, AND VICE VERSA
5. APPLY MYCORRHIZA (IDEHARD ROOT RIVER OR APPROVED EQUAL) TO PLANTING BACKFILL, FOLLOWING MANUFACTURER'S INSTRUCTIONS.
6. ALL TREES 3" CAL, 6' HT. & LARGER TO BE GUDED.
7. DO NOT MULCH AROUND TRUNK.

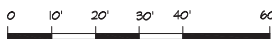
**ORNAMENTAL TREE NOTES:**

1. PRUNE TREE TO OFFSET ROOT LOSS
2. TREE TRUNK FLARE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE TO PREVIOUSLY EXISTING GRADE.
3. REMOVE BURLAP & ALL WIRES FROM TOP 1/2 OF BALL MINIMUM
4. SOIL CONNECTION:  
DURING INSTALLATION TAKE A SMALL SCOUT OF SOIL FROM TOP AND SIDES OF ROOTBALL AND DISTRIBUTE INTO PLANTING SOIL BACKFILL, AND VICE VERSA
5. APPLY MYCORRHIZAE (DIHARD ROOT REVIVER OR APPROVED EQUIVALENT) TO BACKFILL, FOLLOWING MANUFACTURERS INSTRUCTIONS.
6. ALL ORNAMENTAL TREES 5' HT & LARGER TO HAVE ROOTBALL STAKED UNDERGROUND OR GUYED.

NOTES - SHADE & ORNAMENTAL TREE



SCALE: 1"=20'-0"



LANDSCAPE NOTES

1. In general, contractor shall become familiar with the site and with scope of work prior to the submission of bid proposal and should notify Landscape Architect (LA) and/or owner of any discrepancies between the drawings and existing site conditions.
2. Bid Proposal shall show unit prices and quantities for all items shown on this drawing.
3. Contractor shall follow and conform to the Village of Wilmette, IL building codes.
4. Job site safety and means and methods of construction are the responsibility of the Contractor.
5. Contractor shall excavate and dispose of excavated materials off site.
6. Contractor shall be responsible for any damage to buildings or site as a result of executing the work which is part of this contract or additional work which may be added to this contract at a later date.
7. Site shall be kept clean at all times and shall be thoroughly cleaned at the end of each working day.
8. Driveways shall be unobstructed at all times and consideration for the neighboring properties maintained.
9. Determine and verify exact locations of all underground utilities in the field before work begins. Call JULIE 1-800-892-0123 (48 hours) before you dig, excluding Saturdays, Sundays, and holidays.
10. Plants and other materials are quantified and summarized for the convenience of the owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn.
11. Landscape Architect not responsible for installation permits unless otherwise noted.
12. Determine subsoil conditions and subsurface drainage requirements of all plant material.
13. **Removals.** Contractor shall clear existing plant material and weeds as needed where new planting is provided per plan. New topsoil shall be provided and/or amended as needed for the grading and planting areas.
14. **Topsoil.** Any new topsoil shall be fertile, pulverized, friable, natural loam, surface soil, free of subsoil, clay lumps, brush, weeds, stones larger than 1" in any dimension and other extraneous or toxic material harmful to plant growth. Soil shall have acidity range of pH 5-7, not less than 3% humus as determined by loss on ignition of moisture free samples dried at 100 degrees centigrade, less than 60% of material passing VSS #100 sieve consists of clay by dried weights of material.
15. **Amend Existing Soil.** Amend existing soil in all planting beds. Amended soil shall be 25% soil conditioner, 25% clean sand and 50% existing soil. Retotell amendments into planting beds.
16. **Plant Material.** The Landscape Architect reserves the right to personally select any and all nursery stock prior to digging. All plant material shall bear the same relationship to the new grade as they bore to the previous (nursery) grade. Comply with sizing and grading standards of the latest edition "American Standard for Nursery Stock". All plants are subject to inspection by the Landscape Architect at the job site or nursery.
17. **Plant Installation.** Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and face to give the best appearance or relationship to each other or adjacent structure. Do not fill around trunks or stems. Do not use frozen or muddy mixture for backfilling. Supply a minimum of 12" of soil mix on all sides of rootballs for trees and shrubs unless otherwise noted. Plant groundcover and perennials and tamp down soil around pot so pot does not heave in front. Water in before applying mulch. Do not cover foliage with mulch. Balled roots shall be placed in a container from which they can be removed without the need to break the ball from the roots.
18. **Mulch.** Provide 3" loose measure of mulch throughout all planting areas excluding groundcover beds. Mulch to be 6 month old, well rotted, shredded, hardwood bark mulch, not larger than 4" in length and 1/2" in width, free of wood chips and sawdust.
19. **Watering.** LC to water installed plant materials for the entire first season.
20. **Sod.** Supply and install new bluegrass blend sod as shown on plan. Place sod on min. 4" depth rolled, fine graded, pulverized topsoil. Guarantee new sod for 30 days. Time delivery of sod so that sod will be placed within 24 hours after shipping. Protect sod against drying and breaking of rolled strips. If new sod is laid late in the Fall, the guarantee shall be extended into the Spring of the next growing season.
21. **Repair Disturbed Areas.** All disturbed areas shall be repaired and fine graded and topdressed with a minimum 4" depth, rolled, pulverized topsoil. All areas not used in repair of disturbed areas shall be removed and replaced with new sod. Sod all repaired areas.
22. **Bed Edge.** Spade edge where bed meets lawn if no edging is installed.
23. Upon completion of all landscape work, the LC shall notify the LA and owner for approval and acceptance. LC shall guarantee all work and plant material for a minimum of one year, after acceptance by the LA and owner, of completed landscape work.

NOTE

ALL EXISTING SHRUBS AND PERENNIALS TO BE REMOVED UNLESS NOTED TO REMAIN

## PLANT LIST

SHADE TREES		BOTANICAL NAME	COMMON NAME	REMARKS
KEY	QTY. SIZE			
QUB	1 4'	<i>Quercus bicolor</i>	Swamp White Oak	Specimen, symmetrical
ORNAMENTAL TREES		BOTANICAL NAME	COMMON NAME	REMARKS
KEY	QTY. SIZE			
ALC	2 8'	<i>Amelanchier laevis 'Cunilus'</i>	Cunilus Alleghany Serviceberry	Specimen, multi-stem
SHRUBS		BOTANICAL NAME	COMMON NAME	REMARKS
KEY	QTY. SIZE			
ASH	26 2'	<i>Aronia melanocarpa UCONNAMIES</i>	Low Spine Dark Chokeberry	Full branching to ground
GRN	16 2'	<i>Buxx x 'Green Velvet'</i>	Green Velvet Boxwood	Full branching to ground
CRH	17 3'	<i>Cornus sericea 'Isanti'</i>	Isanti Redosier Dogwood	Full branching to ground
HES	3 2 1/4"	<i>Hydrangea macrophylla 'Avalon'</i>	Endless Summer Hydrangea	Full branching to ground
HYD	1 2 1/4"	<i>Hydrangea arborescens 'Boleyn'</i>	Ice Cream Box Hydrangea	Full branching to ground
RGW	16 1 1/2"	<i>Ribes alpinum 'Green Mount'</i>	Green Mount Alpine Currant	Full branching to ground
RHS	21 2 1/4"	<i>Rhus aromatica 'Sour-Lon'</i>	Gron-Lon Fragrant Sumac	Full branching to ground
VBM	18 3'	<i>Viburnum dentatum 'Christom'</i>	Blue Mufin Arrowwood Viburnum	Full branching to ground
PERENNIALS, ORNAMENTAL GRASSES AND GROUND COVER		BOTANICAL NAME	COMMON NAME	REMARKS
KEY	QTY. SIZE			
ALL	22 1 gal.	<i>Allium Millenium</i>	Millenium Allium	Container
CRF	22 1 gal.	<i>Calamagrostis x 'Karl Foerster'</i>	Feather Reed Grass	Container
HRR	45 1 gal.	<i>Hemerocallis 'Happy Returns'</i>	Happy Returns Daylily	Container
LIR	19 06'	<i>Liriope spicata</i>	Creeping Ligturt	Container
SPR	8 1 gal.	<i>Sporanthis heterolepis</i>	Pharis Frosted	Container
SNO	21 1 gal.	<i>Schizachyria scoparium 'Standing Ovatio'</i>	Standing Ovatio Little Bluestem	Container

CLIENT NAME:  
Newman Architecture  
1730 Park Street  
Suite 115  
Naperville, Illinois

LANDSCAPE  
ARCHITECTURE  
Landscape

202 South Cook Street Ste #214  
Barrington, Illinois 60010  
847.438.4922  
www.pamelaself.com

LICENSE # 157.000683  
STAMP:

ARCHITECT:

CIVIL ENGINEER:

GENERAL CONTRACTOR:

**CADDYSHACK RESTAURANT**  
200 Skokie Boulevard  
Wilmette, Illinois

[illegible]

Design by: KWS/PKS  
 Drawn by: KWS  
 Checked by: PKS  
 Start date: 12.07.2021  
 Project no.

LANDSCAPE  
PLAN

L-1.0

**NOT FOR CONSTRUCTION**





Swamp White Oak



Cumulus Alleghany Servicberry



Millenium Allium



Happy Returns Daylily



Feather Reed Grass



Prairie Dropseed



Standing Ovation Little Bluestem



Creeping Lilyturf



Low Scape Mound Chokeberry



Green Velvet Boxwood



Isanti Redosier Dogwood



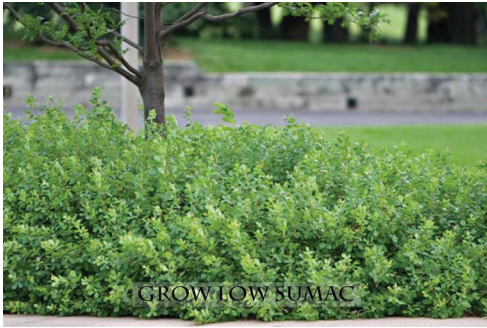
Endless Summer Hydrangea



Incrediball Hydrangea



Green Mound Alpine Currant



Grow-Low Fragrant Sumac



Blue Muffin Arrowwood Viburnum

CLIENT NAME:  
Newman Architecture  
1730 Park Street  
Suite 115  
Naperville, Illinois

LANDSCAPE  
ARCHITECTURE  
**pamelaself**  
202 South Cook Street Ste #214  
Barrington, Illinois 60010  
847.438.4922  
www.pamelaself.com

LICENSE # 157.000683  
STAMP:

ARCHITECT:

CIVIL ENGINEER:

GENERAL CONTRACTOR:

**CADDYSHACK RESTAURANT**  
200 Skokie Boulevard  
Wilmette, Illinois

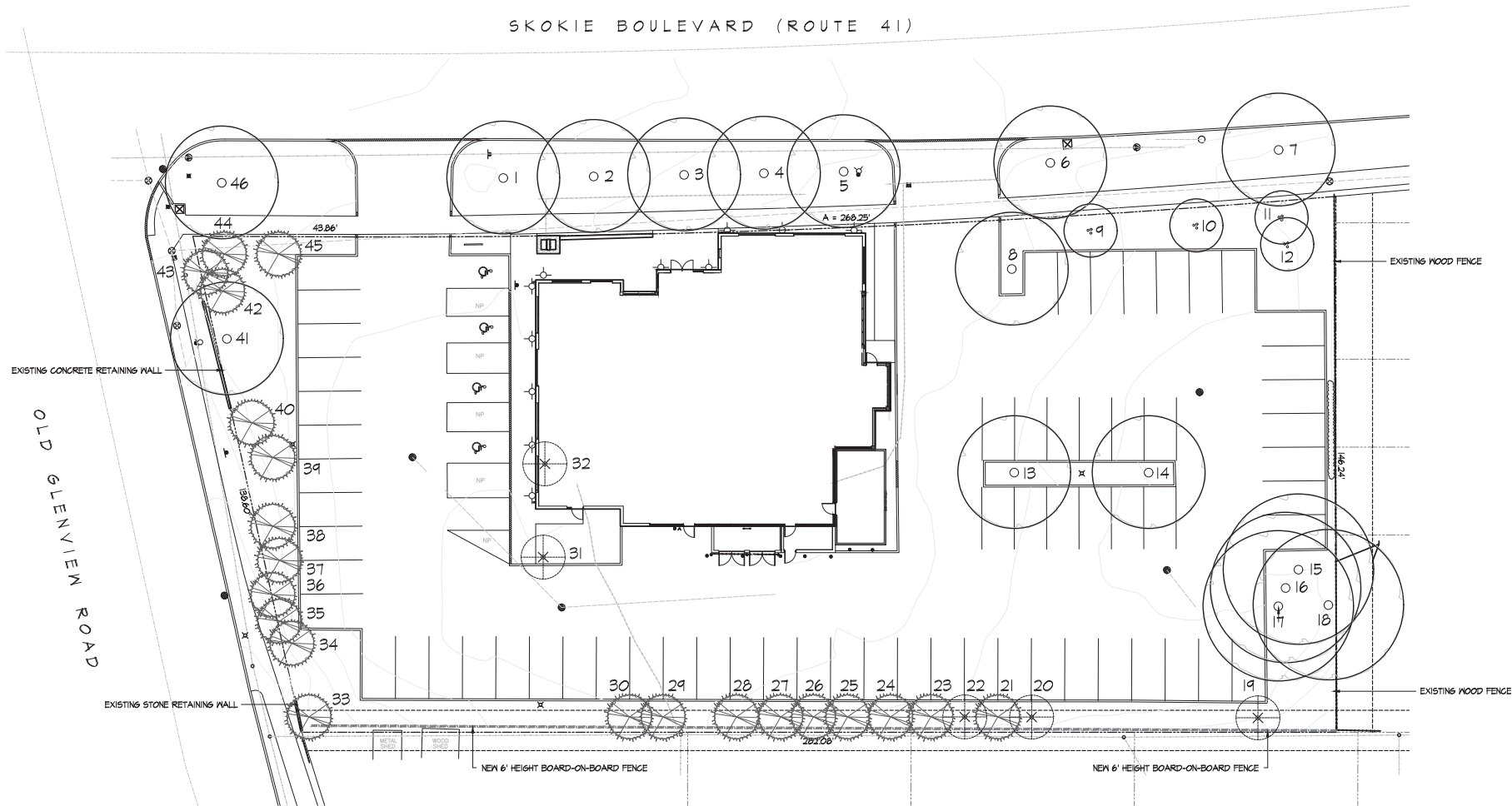
REVISIONS	No.	Description	Date	1	2	3	4	5	6	7	8	9	10
	1	VILLAGE COMMENTS	02.23.22										

Design by: KWS/PKS  
Drawn by: KWS  
Checked by: PKS  
Start date: 12.07.2021  
Project no.

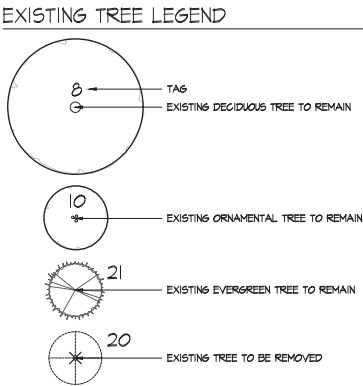
**PLANT  
PALETTE**

**L-2.0**





TREE INVENTORY PLAN  
SCALE: 1"=20'-0"



EXISTING TREES				
TAG	SIZE (Caliper)	BOTANICAL NAME	COMMON NAME	CONDITION ACTION
1	18"	Gleditsia triacanthos var. inermis	Honeylocust	*Good To remain
2	16"	Gleditsia triacanthos var. inermis	Honeylocust	*Good To remain
3	4"	Gleditsia triacanthos var. inermis	Honeylocust	*Good To remain
4	12"	Gleditsia triacanthos var. inermis	Honeylocust	*Good To remain
5	10"	Gleditsia triacanthos var. inermis	Honeylocust	*Good To remain
6	11"	Gleditsia triacanthos var. inermis	Honeylocust	*Good To remain
7	13"	Gleditsia triacanthos var. inermis	Honeylocust	*Good To remain
8	13"	Gleditsia triacanthos var. inermis	Honeylocust	*Good To remain
9	8"	Malus species	Crabapple	*Good To remain
10	8"	Malus species	Crabapple	*Good To remain
11	6"	Malus species	Crabapple	*Good To remain
12	6"	Malus species	Crabapple	*Good To remain
13	10"	Gleditsia triacanthos var. inermis	Honeylocust	*Good To remain
14	7"	Gleditsia triacanthos var. inermis	Honeylocust	*Good To remain
15	20"	Populus deltoides	Cottonwood	*Fair To remain
16	20"/11"	Populus deltoides	Cottonwood	*Fair To remain
17	20"	Populus deltoides	Cottonwood	*Fair To remain
18	18"	Populus deltoides	Cottonwood	*Fair To remain
19	14"	Juniperus virginiana	Eastern Redcedar	DEAD Remove
20	12"	Juniperus virginiana	Eastern Redcedar	DEAD Remove
21	10"	Juniperus virginiana	Eastern Redcedar	Fair To remain
22	12"/10"	Juniperus virginiana	Eastern Redcedar	DEAD Remove
23	10"	Juniperus virginiana	Eastern Redcedar	Fair To remain
24	11"/7"	Juniperus virginiana	Eastern Redcedar	Fair To remain
25	4"	Juniperus virginiana	Eastern Redcedar	Fair To remain
26	12"	Juniperus virginiana	Eastern Redcedar	Fair To remain
27	16"	Juniperus virginiana	Eastern Redcedar	Fair To remain
28	11"	Juniperus virginiana	Eastern Redcedar	Fair To remain
29	11"	Juniperus virginiana	Eastern Redcedar	Fair To remain
30	4"	Juniperus virginiana	Eastern Redcedar	Fair To remain
31	20"	Pinus nigra	Austrian Pine	Remove
32	10"	Quercus rubra	Red Oak	Good Remove
33	11"	Juniperus virginiana	Eastern Redcedar	Fair To remain
34	11"	Pinus sylvestris	Scotch Pine	Fair To remain
35	18"	Pinus sylvestris	Scotch Pine	Fair To remain
36	13"	Pinus sylvestris	Scotch Pine	Fair To remain
37	8"	Pinus sylvestris	Scotch Pine	Fair To remain
38	10"	Pinus sylvestris	Scotch Pine	Fair To remain
39	10"	Pinus sylvestris	Scotch Pine	Fair To remain
40	13"	Pinus sylvestris	Scotch Pine	Fair To remain
41	14"	Gleditsia triacanthos var. inermis	Honeylocust	*Good To remain
42	10"	Pinus sylvestris	Scotch Pine	Fair To remain
43	11"	Pinus sylvestris	Scotch Pine	Fair To remain
44	12"	Pinus sylvestris	Scotch Pine	Fair To remain
45	12"	Pinus sylvestris	Scotch Pine	Fair To remain
46	14"	Gleditsia triacanthos var. inermis	Honeylocust	*Good To remain

\*PER PSLA SITE VISIT ON 12.04.21; CONDITION OF DECIDUOUS TREES TO BE FIELD VERIFIED WHEN TREES ARE "LEAFED OUT" IN SPRING OF 2022.

CLIENT NAME:  
Newman Architecture  
1730 Park Street  
Suite 115  
Naperville, Illinois

LANDSCAPE  
ARCHITECTURE  
**pamelaself**  
2022 South Cook Street Ste #214  
Barrington, Illinois 60010  
847.438.4022  
www.pamelaself.com

LICENSE # 157.000683  
STAMP:

ARCHITECT:

CIVIL ENGINEER:

GENERAL CONTRACTOR:

CADDYSHACK RESTAURANT  
200 Skokie Boulevard  
Wilmette, Illinois

REVISIONS		
No.	Description	Date
1	VILLAGE COMMENTS	02.23.22

Design by: KWS/PKS  
Drawn by: KWS  
Checked by: PKS  
Start date: 12.07.2021  
Project no.

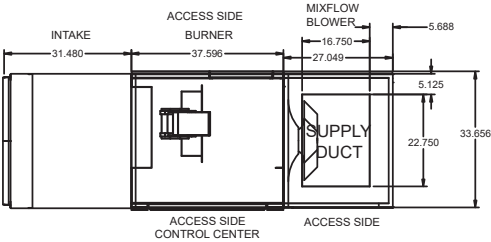
TREE  
INVENTORY  
PLAN

T-1.0

NOT FOR CONSTRUCTION

EQUIPMENT SCHEDULE							
Tempered Make-Up Air Unit							
Mark: MAU-1							
Qty	Accurex Model	Volume	External SP	Total SP	FRPM	Operating Power	Weight
1	XDGX-P116-H12-MF	4,541 CFM	0.5 in. wg	1,552 in. wg	1916	2.22 hp	698 lb
Motor Information							
Size	V/C/P	Enclosure	Motor with Shall Grounded	Motor RPM	Windings	MCA	MOP
3 hp	208/60/3	ODP	No	1725	1	13.9	20
Heating							
Type	Gas Type	Temperature		Energy		Connection Gas Pressure	Building Gas Pressure
Direct Gas		Winter DB	Max Δ	Max LAT	Input	Output	Efficiency
		-4.0 F	74.0 F	70.0 F	394.5 MSH	362.9 MSH	92%
							3/4"
							1/2 PSI
							11a
Outlet Sound Power By Octave Band							
62.5	125	250	500	1000	2000	4000	8000
80.2	77	75	79.6	79	77.2	75.8	70.3
						LwA	dBA
							Sones
							20.7
*LwA - A weighted sound power level based on ANSI S1.4. *dBA - A weighted sound pressure level based on 11.0dB attenuation per octave band at 0.0 ft. *Noise Criteria (NC) based on an average attenuation of 11.5 dB per octave band at 5.0 ft.							

OPTIONS AND ACCESSORIES									
Air Flow Arrangement: Variable Volume									
Weatherhood: Aluminum Mesh, 16x20x2 - (4)									
Damper: Inlet									
Outdoor Air Intake Position: End									
Discharge Position: Bottom									
Coating: Galvanized									
Insulation: Double Wall - Heat Source On									
Supply Fan Control: VFD									
VFD Control: External 0-10 VDC									
Hinged Access									
Access Side: Right-Hand									
Control Center									
Heat Inlet Air Sensor									
Unit Controls: Terminal Strip									
Temperature Control: Discharge									
Direct Gas Options/Accessories									
Approvals: ETL									
FM Compliant									
Flame Sensing: Flame Rod									
Ignition Control: Pilot									
Unit Rated Gas Pressure: 1/2 PSI									



Make Up Air Unit:

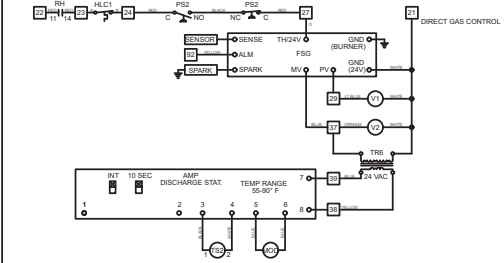
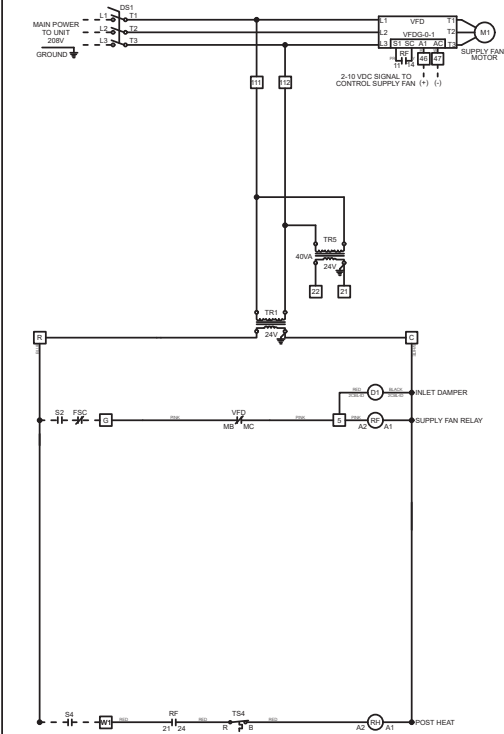
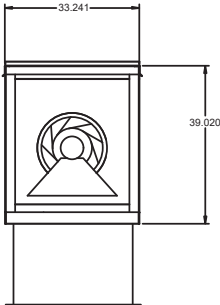
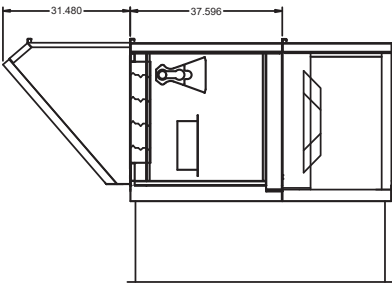
Curb - 18"

Equipment: 39"

Total Height: 57"

Top of Unit: +/- 14'-1" AFF

Existing Parapet (without coping): 14'-6" AFF



Wiring Diagram Code:  
**AD66N402F310N10NM24**

CAUTION  
UNIT SHALL BE GROUNDED IN ACCORDANCE WITH N.E.C.  
POWER MUST BE OFF WHILE SERVICING.

NOTES  
USE COPPER CONDUCTORS ONLY  
60° C FOR TERMINALS RATED LESS THAN 100 AMPS.  
75° C FOR TERMINALS RATED 100 AMPS OR MORE.  
FIELD CONTROL WIRING RESISTANCE SHOULD  
NOT EXCEED 0.75 OHM.  
FIELD WIRE: - - - - -  
FACTORY SUPPLIED AND WIRED: \_\_\_\_\_

WIRE COLOR CODE  
BK BLACK BR BROWN  
GY GRAY LT BL LIGHT BLUE O ORANGE  
PK PINK PR PURPLE R RED  
W WHITE Y YELLOW

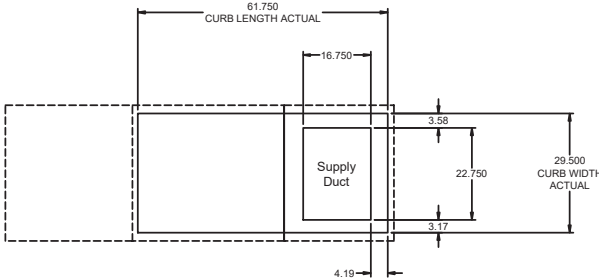
LEGEND  
AMP AMPERAGE  
D1 INLET DAMPER  
DIS1 MAIN DISCONNECT SWITCH  
FSC FIRE SYSTEM CONTACT  
FSG FIRE SAFETY GUARD  
FUSE FUSE  
ALC AIR LIMIT CONTROL  
MB MOTOR  
MOD MODULATING VALVE  
PSD AIR PROVING SWITCH  
SUPPLY FAN RELAY  
RH HEAT RELAY  
RH HEAT AND COOL SWITCH  
S4 SPARK SENSITIVE  
S5 SPARK SENSITIVE  
TRM TRANSFORMER  
TSD DISCHARGE AIR SENSOR  
TSD TEMPERATURE SELECTOR  
TSA INLET AIR SENSOR - HEAT  
TSA COIL FREEZE PROTECTION  
V1 MAIN VALVE  
V2 MAIN VALVE  
VFD VARIABLE FREQUENCY DRIVE

NOTE: Roof Opening Requirements:

Minimum Roof Opening: The minimum roof opening size is the illustrated duct diameter plus 0.25 in. on all sides.  
For example: If the duct size is 14 x 14 in. square, the minimum roof opening size is 14.5 x 14.5 in. square.

Maximum Roof Opening: There must be a minimum perimeter of 1.75 in. between the roof opening and the roof curb.  
For example: If the roof curb is 75 x 30 in. square, the maximum roof opening is 71.5 x 26.5 in. inches square.

NOTE: The weatherhood and filter sections of the make-up air unit are not supported by the curb.  
This is by design, in order to help alleviate water infiltration issues.



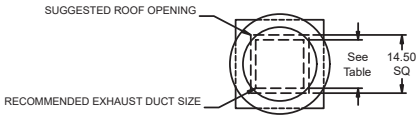
FOOTPRINT

Direct Drive Upblast Centrifugal Roof Exhaust Fan

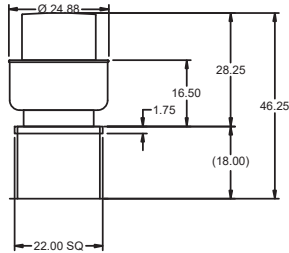
MARK INFORMATION		FAN INFORMATION						MOTOR INFORMATION					
QTY	MARK	MODEL	VOLUME (CFM)	TOTAL EXTERNAL SP (IN WG)	FAN RPM	OPERATING POWER (HP)	WEIGHT (LB.)	SIZE (HP)	V/C/P	ENCLOSURE	MOTOR RPM	WINDINGS	NEC FLA*
1	DEF-1	XRUD-099-VG	750	0.75	1,581	0.19	39	0.25	115/60/1	OP	1725	1	5.8

\*NEC FLA - Based on table 430.250 or 430.248 of National Electrical Code 2020. Actual motor FLA may vary for sizing thermal overload, consult factory"

DEF-1 : SELECTED OPTIONS AND ACCESSORIES
One piece fully welded windband Tapered bushing wheel hub Breather tube outlet area min. 4.4 sq. in. (sizes 99-480), 2.0 sq. in. (sizes 60-95) Min. windband material thickness: 0.051" aluminum (060-240), 0.064" aluminum (240HP, 240XP), 0.080" aluminum (sizes 300-480) Larger Curb Cap Size - 22 Square UL/cUL 705 Listed - "Power Ventilators" Switch, NEMA-3R, Toggle, Shipped with Unit Foam Curb Seal (Factory Applied)



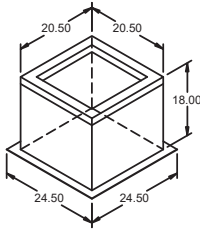
DUCT TYPE	SIZE
STANDARD	12 SQ
FIRE-WRAPPED	4 SQ



DUCT DIMENSIONS ARE LARGEST POSSIBLE DUCT TO FIT THROUGH CURB.  
CONSULT SYSTEM DESIGN ENGINEER FOR RECOMMENDED DUCT SIZE.  
OVERALL HEIGHT MAY BE GREATER DEPENDING ON MOTOR, ADAPTER, AND/OR HINGE BASE.

Dish Washer Exhaust Fan:  
Curb - 18"  
Equipment: 28"  
Total Height: 46"

Top of Fan: +/- 13'-1" AFF  
Existing Parapet (without coping): 14'-6" AFF



PROJECT] 11/4/2021

MARK ]

MURRAY BROTHERS CADDY SHACK R3

DEF-1

ACCUREX NORTHERN IL  
NICK MORLEY  
NICK.MORLEY@ACCUREX.COM  
(630)272-0307

ACCUREX

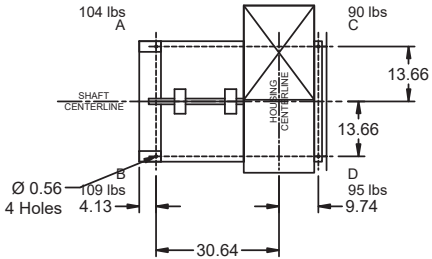
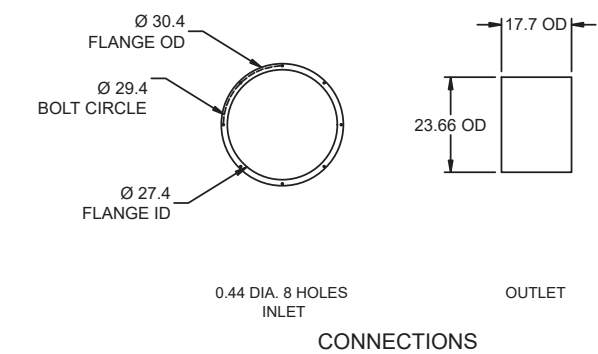


COMMERCIAL CURBS  
AND DUCTS

MARK INFORMATION		FAN INFORMATION						MOTOR INFORMATION					
QTY	MARK	MODEL	VOLUME (CFM)	TOTAL EXTERNAL SP (IN WG)	FAN RPM	OPERATING POWER (HP)	WEIGHT (LB.)	SIZE (HP)	V/C/P	ENCLOSURE	MOTOR RPM	WINDINGS	NEC FLA*
1	KEF-1	XUEF-22	5,677	1.5	1,144	2.35	442	3	208/60/3	OP	1725	1	10.6

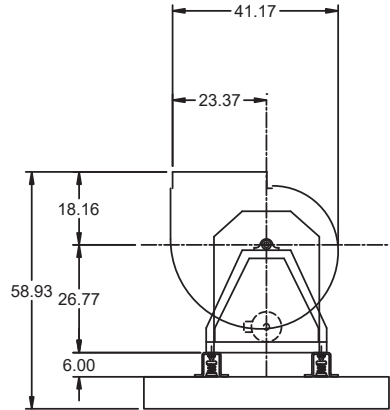
\*NEC FLA - Based on table 430.250 or 430.248 of National Electrical Code 2020. Actual motor FLA may vary for sizing thermal overload, consult factory"

KEF-1 : SELECTED OPTIONS AND ACCESSORIES
Finish - Coated
Coating - Permator, Concrete Gray-RAL 7023, Fan and Attached Accessories
Switch - NEMA-3R, Toggle, For Indoor or Outdoor Use, Mounted and Wired
Direct Mount Isolators, Isolator-Spring, Restrained, 1 Inch, Indoor / Outdoor Use, Base Coating - N/A
Rotation - CW
Bearings - L(10) Life of 80k Hours
Housing - Welded Scroll
Discharge Position - UB
UL/cUL-762 Outdoor - Power Vent. for Restaurant Exhaust Appliances
Polished Steel Shaft
Access Door - Bolted
Equipment Supports (Qty:2), GESI-61-4-G8, No Coating
Drain Connection - 1" Pipe Thread w/Plug
Inlet Connection, Punched
Outlet Connection, Slip Fit
Weatherhood - Steel
Shaft Seal - High Temp
Grease Trap, Shipped Loose



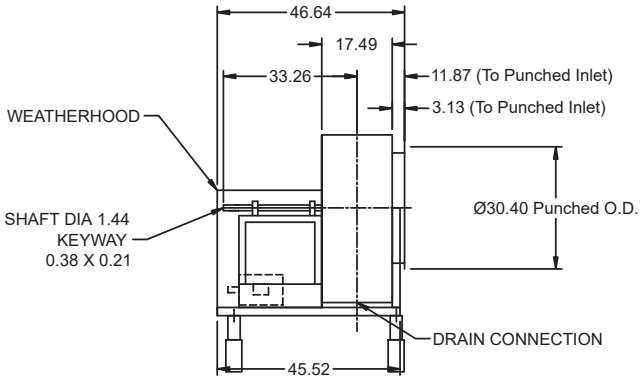
Kitchen Exhaust Fan:  
Pad Mounted  
Equipment: 51"  
Total Height: 59"

Top of Unit: +/- 14'-4" AFF  
Existing Parapet (without coping): 14'-6" AFF



\*SIDE VIEW IS VIEWED FROM DRIVE SIDE

\*FANS ARE SUBJECT TO ±.125 INCH TOLERANCE  
\*DUE TO CONTINUAL IMPROVEMENTS DIMENSIONS MAY CHANGE



PROJECT  
2/11/2022

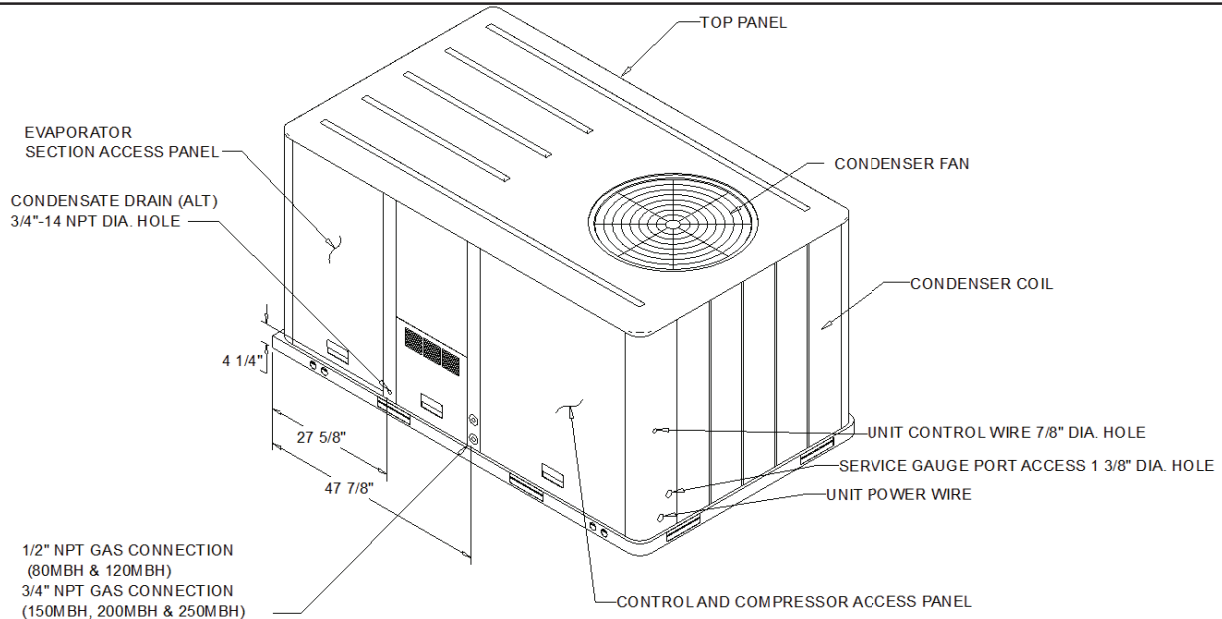
MARK  
KEF-1

MURRAY BROTHERS CADDY  
SHACK R5

ILNS  
COMMERCIAL DESIGN GROUP  
CONSULTING ENGINEERS

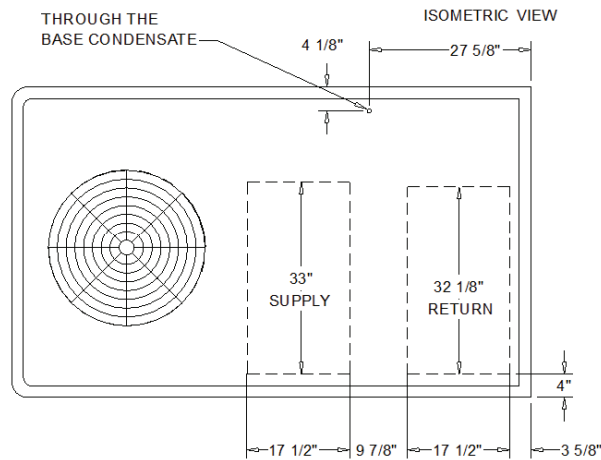
ACCUREX NORTHERN IL  
NICK MORLEY  
NICK.MORLEY@ACCUREX.COM  
(630)272-0307

ACCUREX



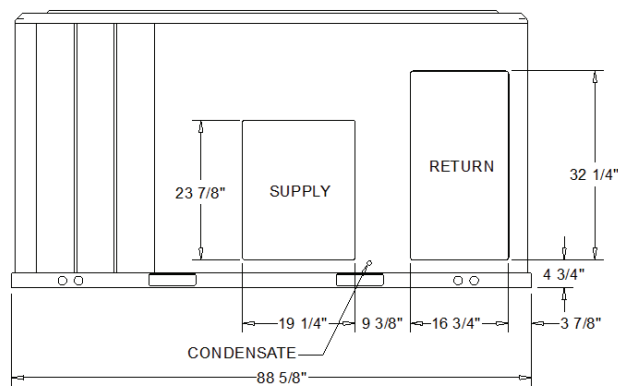
### PACKAGED GAS / ELECTRICAL

#### ISOMETRIC VIEW



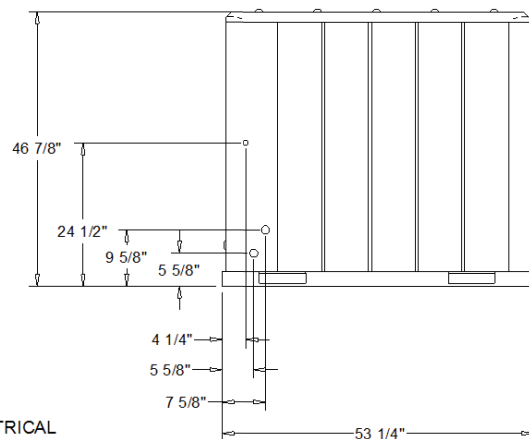
#### PLAN VIEW UNIT

#### DIMENSION DRAWING



### PACKAGED GAS / ELECTRICAL

#### DIMENSION DRAWING



#### NOTES:

1. THRU -THE -BASE ELECTRICAL IS NOT STANDARD ON ALL UNITS.
2. VERIFY ALL DIMENSIONS WITH INSTALLER DOCUMENTS BEFORE INSTALLATION.

#### Roof Top Units:

Curb: 18"

Equipment: 47"

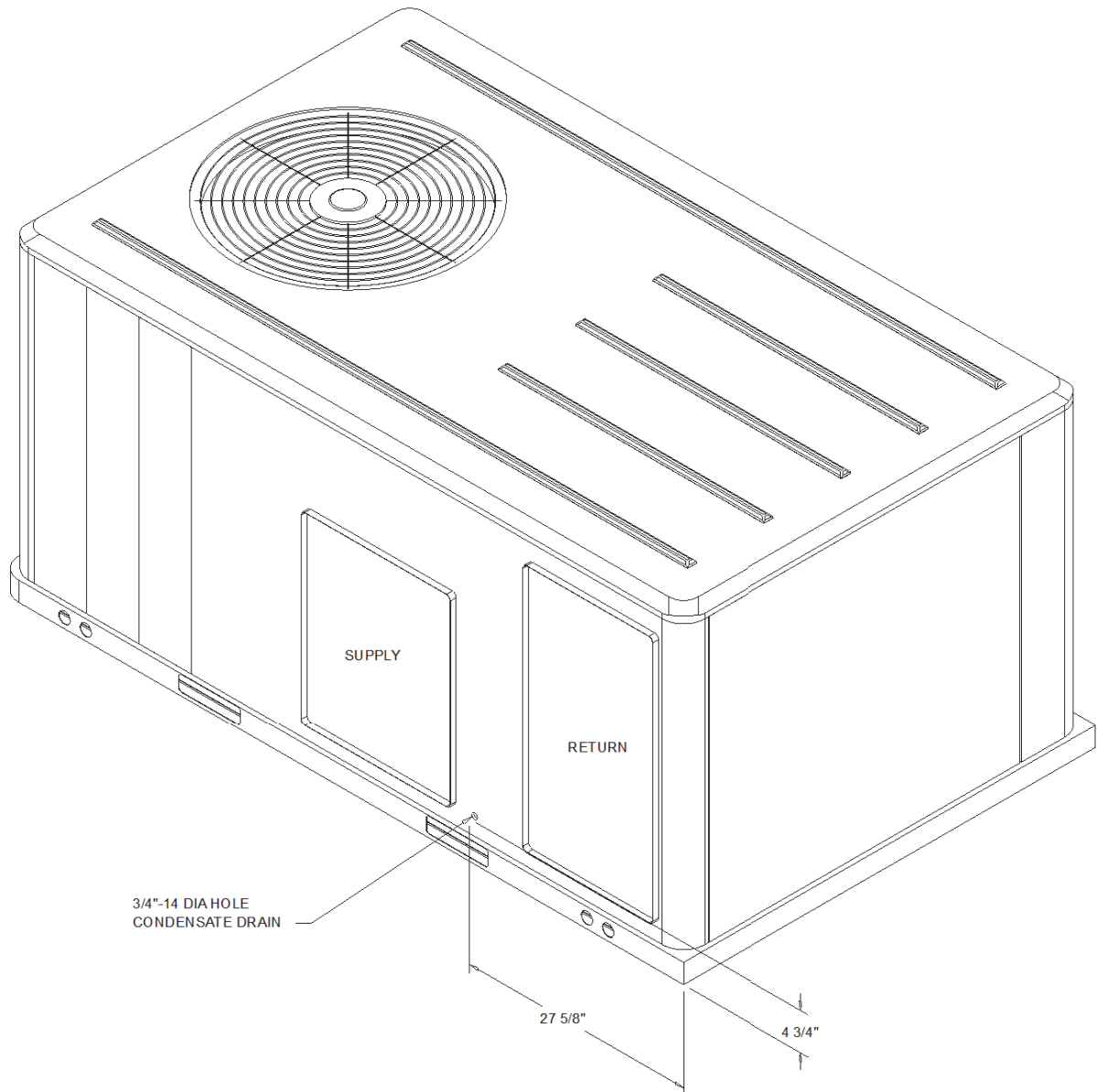
Total Height: 61" (4" overlap)

Top of Unit: +/- 14'-6" AFF High Side, 14'-1" AFF low side

Existing Parapet (without coping): 14'-6" AFF



Tag: Dining Add 2  
Quantity: 1  
Customer:  
Project:  
Name: 21024\_Murrays Caddyshack



ISOMETRIC-PACKAGED COOLING



Tag: Dining Add 2  
Quantity: 1  
Customer:  
Project:  
Name: 21024\_Murrays Caddyshack

## ELECTRICAL / GENERAL DATA

<b>GENERAL</b> (2)(4)(6)			<b>HEATING PERFORMANCE</b>		
Model: YSC120H Oversized Motor			HEATING - GENERAL DATA		
Unit Operating Voltage: 187-253 MCA: N/A			Heating Model: High		
Unit Primary Voltage: 208 MFS: N/A			Heating Input (BTU): 235000 / 164500		
Unit Secondary Voltage: 230 MCB: N/A			Heating Output (BTU): 188000 / 131000		
Unit Hertz: 60			No. Burners: 5		
Unit Phase: 3			No. Stages: 2		
EER: 11.3					
Standard Motor			Gas Inlet Pressure		
Field Installed Oversized Motor			Natural Gas (Min/Mix): 4 1/2"/14"		
MCA: 49.0 MCA: N/A			LP (Min/Max): 11"/14"		
MFS: 60.0 MFS: N/A			Gas Pipe Connection Size: 3/4"		
MCB: 60.0 MCB: N/A					
<b>INDOOR MOTOR</b>					
Standard Motor		Oversized Motor		Field Installed Oversized Motor	
Number: 1		Number: N/A		Number: N/A	
Horsepower: 2.75		Horsepower: N/A		Horsepower: N/A	
Motor Speed (RPM): -		Motor Speed (RPM): N/A		Motor Speed (RPM): N/A	
Phase: 3		Phase: N/A		Phase: N/A	
Full Load Amps: 7.3		Full Load Amps: N/A		Full Load Amps: N/A	
Locked Rotor Amps: -		Locked Rotor Amps: N/A		Locked Rotor Amps: N/A	
<b>COMPRESSOR</b> Circuit 1/2			<b>OUTDOOR MOTOR</b>		
Number: 2			Number: 1		
Horsepower: 4.8/3.7			Horsepower: 0.75		
Phase: 3			Motor Speed (RPM): 1100		
Rated Load Amps: 19.6 / 13.1			Phase: 1		
Locked Rotor Amps: 136.0/83.1			Full Load Amps: 3.3		
			Locked Rotor Amps: 12.3		
<b>POWER EXHAUST ACCESSORY</b> (3,7) (Field Installed Power Exhaust)		<b>FILTERS</b>		<b>REFRIGERANT</b> (2)	
Phase: N/A		Type: Throwaway		Type	
Horsepower: N/A		Furnished: Yes		Factory Charge	
Motor Speed (RPM): N/A		Number: 4		Circuit #1 5.6 lb	
Full Load Amps: N/A		Recommended: 20"x25"x2"		Circuit #2 4.4 lb	
Locked Rotor Amps: N/A					

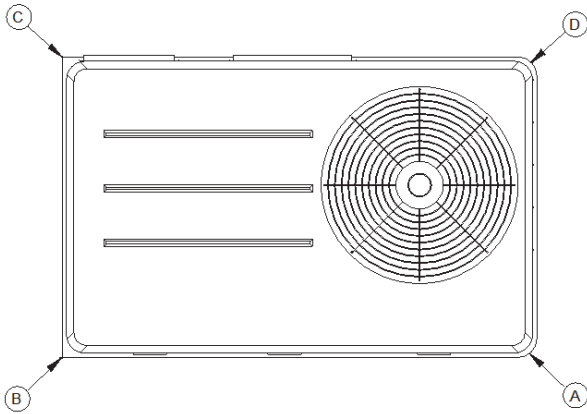
### NOTES:

1. Maximum (HACR) Circuit Breaker sizing is for installations in the United States only.
2. Refrigerant charge is an approximate value. For a more precise value, see unit nameplate and service instructions.
3. Value does not include Power Exhaust Accessory.
4. Value includes oversized motor.
5. Value does not include Power Exhaust Accessory.
6. EER is rated at AHRI conditions and in accordance with DOE test procedures.
7. Installation of this power exhaust kit will affect unit level MCA and could affect MOP sizing having a direct impact on existing field wiring and unit protection devices. The change in MCA/MOP is the sole responsibility of the field installing party. Trane will not issue new nameplates as a result of this power exhaust accessory installation. FLA of the power exhaust kit option must be added to the MCA of the unit for building supply conductor sizing determination.



### INSTALLED ACCESSORIES NET WEIGHT DATA

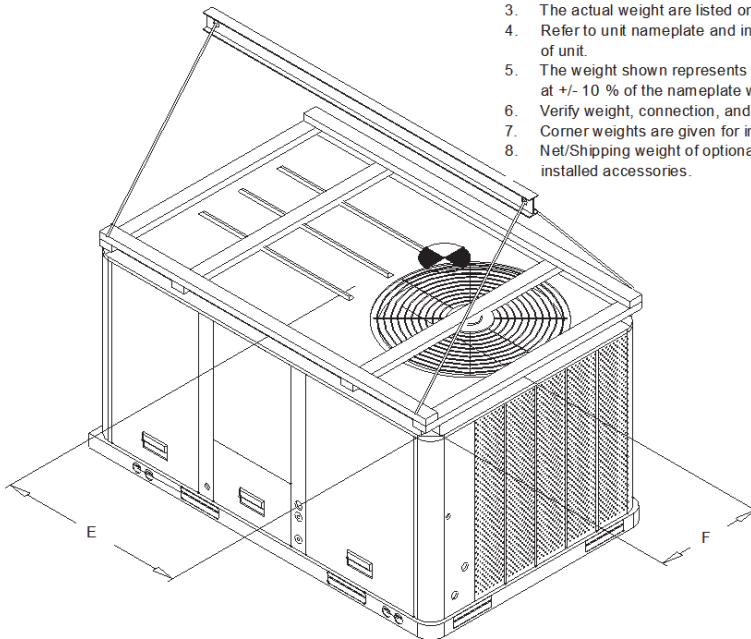
ACCESSORY						WEIGHTS	
ECONOMIZER						36.0 lb	
MOTORIZED OUTSIDE AIR DAMPER							
MANUAL OUTSIDE AIR DAMPER							
BAROMETRIC RELIEF							
OVERSIZED MOTOR							
BELT DRIVE MOTOR							
POWER EXHAUST							
THROUGHT THE BASE ELECTRICAL/GAS (FIOPS)							
UNIT MOUNTED CIRCUIT BREAKER (FIOPS)							
UNIT MOUNTED DISCONNECT (FIOPS)							
POWERED CONVENIENCE OUTLET (FIOPS)							
HINGED DOORS (FIOPS)						12.0 lb	
HAIL GUARD						20.0 lb	
SMOKE DETECTOR, SUPPLY / RETURN							
NOVAR CONTROL							
STAINLESS STEEL HEAT EXCHANGER							
REHEAT							
ROOF CURB							
BASIC UNIT WEIGHTS		CORNER WEIGHTS				CENTER OF GRAVITIY	
SHIPPING	NET	(A)	345.0 lb	(C)	258.0 lb	(E) LENGHT	(F) WIDTH
1156.0 lb	1058.0 lb	(B)	242.0 lb	(D)	213.0 lb	41"	23"



PACKAGED GAS / ELECTRICAL  
CORNER WEIGHT

**NOTE:**

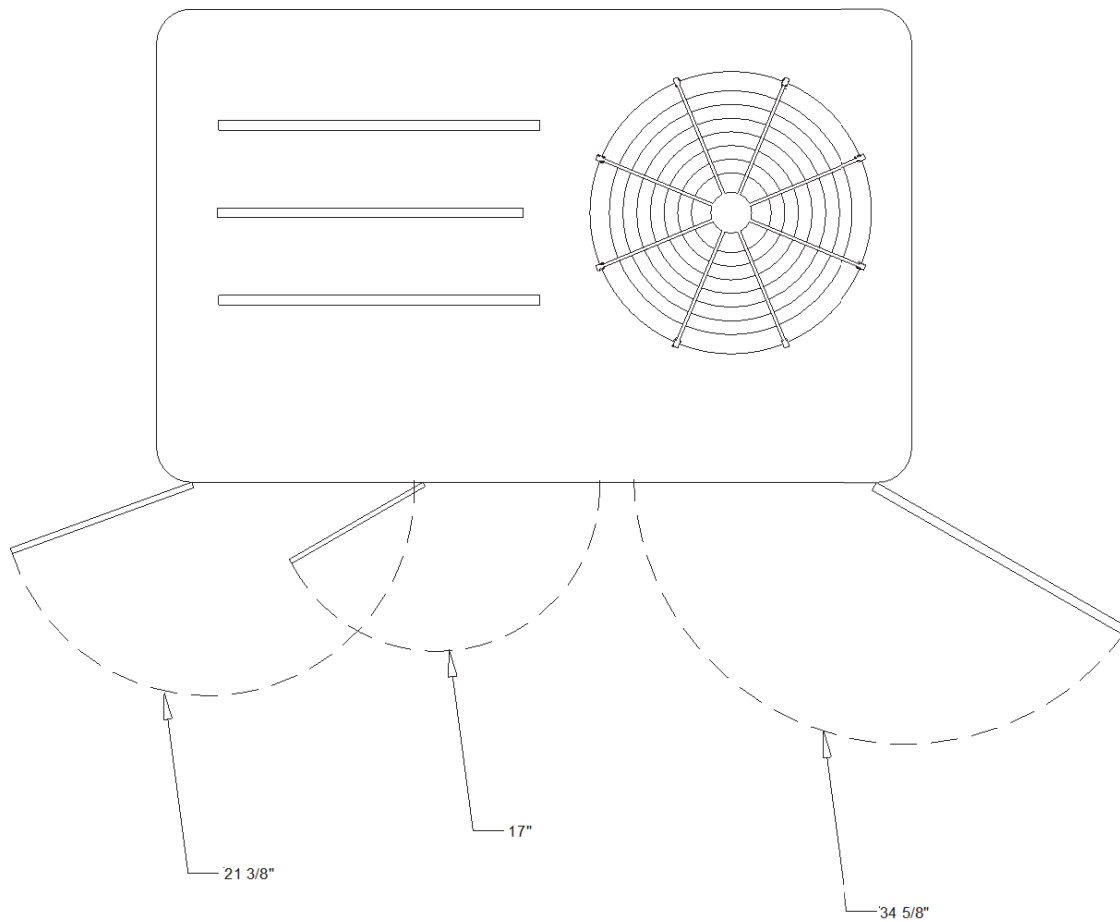
1. All weights are approximate.
2. Weights for options that are not list refer to Installation guide.
3. The actual weight are listed on the unit nameplate.
4. Refer to unit nameplate and installation guide for weights before scheduling transportation and installation of unit.
5. The weight shown represents the typical unit operating weight for the configuration selected. Estimated at +/- 10 % of the nameplate weight. .
6. Verify weight, connection, and all dimension with installer documents before installation.
7. Corner weights are given for information only.
8. Net/Shipping weight of optional accessories should be added to unit weight when ordering factory or field installed accessories.



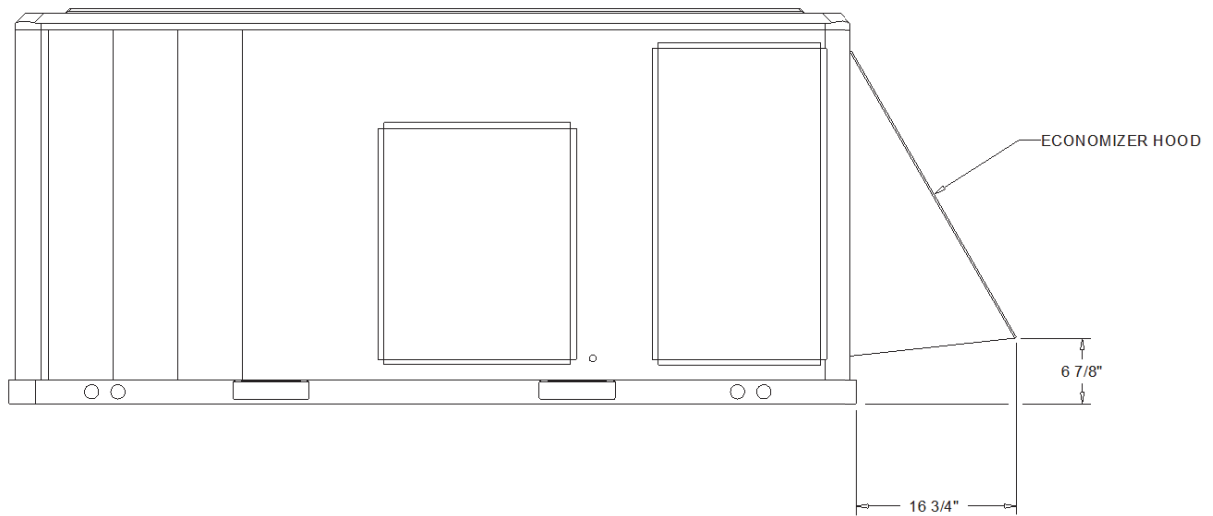
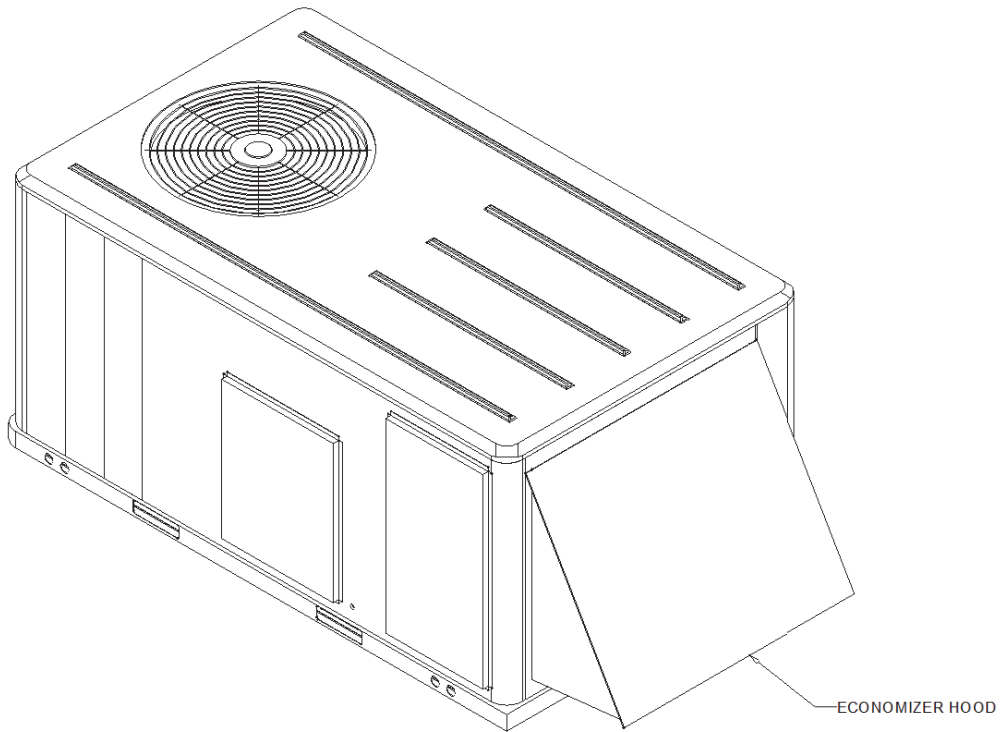
PACKAGED GAS / ELECTRICAL  
RIGGING AND CENTER OF GRAVITY



Tag: Dining Add 2  
Quantity: 1  
Customer:  
Project:  
Name: 21024\_Murrays Caddyshack



SWING DIAMETER - HINGED DOOR(S) OPTION  
ACCESSORY



ACCESSORY - ECONOMIZER HOOD

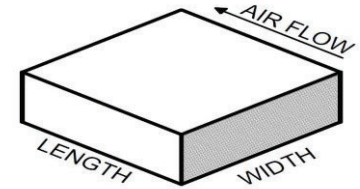
# Refrigeration Specification

Quote #: E027936  
Date: 08/16/2021

Mounted on top of  
sloped roof



Combination Box - Holding freezer  
Room Temperature -10°F



28.25" 39.875"

**Condensing Unit: RFO230L4SDANT**

**7330 BTUH**

Ambient temp 95°F

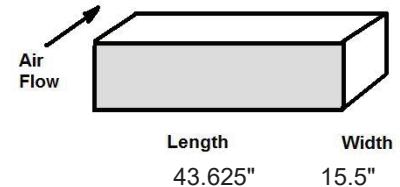
NEXT-GEN MINI-CON CONDENSING UNIT: LOW TEMPERATURE: SCROLL  
COMPRESSOR: 208-230/1/60: FLOODED: NO DEFROST PROVISIONS

Compressor Type	Refrigerant	HP	Electrical	RLA	LRA	MCA	MOPD
Scroll	R404	2.33333	208-230/1/60	12.4359	75	17.5	25

Receiver Capacity	Liquid	Suction		Length	Width	Height	Weight
11.025	3/8 OD	7/8 OD		28.25	39.875	18.75	230

Notice: Air cooled condensing units require a minimum of 1000 cfm of fresh air per horsepower



**Unit Cooler: RL6E077DDARE**

QTY

1

**7700 BTUH**

LOW-PROFILE WITH DUAL SPEED EC MOTOR :	Heaters		Fans		Qty	2
	Voltage	208-230/1/60	Voltage		208-230/1/60	
	Amps	9.8	Amps Total		1	

Drain Connection	Inlet	Suction	Equalizer	Length	Width	Height	Weight
3/4 - 14 NPT	3/8 OD	7/8 OD	1/4 OD	43.625	15.5	18.125	55

## Standard Features:

Expansion Valve  
Solenoid Valve  
Defrost Timer

Liquid Line Filter/Drier  
Sight Glass  
Temperature Control

Condensing Unit  
Unit Cooler  
Pressure Control

## Outdoor Systems Include:

Head Pressure Control  
Weather Proof Housing  
Crankcase Heater

Cooler Condensing Unit

Pad Mounted - sloped

Equipment: 19"

Top of Unit: +/- 14'-4" AFF

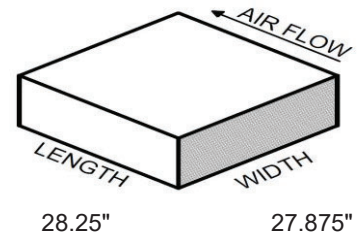
Existing Parapet (without coping): 14'-6" AFF

# Refrigeration Specification

Quote #: E027936  
Date: 08/16/2021



Combination Box - Beer Cooler  
Room Temperature 34°F



**Condensing Unit: RFO060M4SDAALNT**

**6866 BTUH**

Ambient temp 95°F

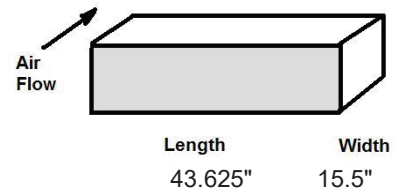
NEXT-GEN MINI-CON CONDENSING UNIT: MEDIUM TEMPERATURE: SCROLL COMPRESSOR: 208-230/1/60: FLOODED: NO DEFROST PROVISIONS: ADJUSTABLE LOW PRESSURE CONTROL

Compressor Type	Refrigerant	HP	Electrical	RLA	LRA	MCA	MOPD
Scroll	R404	0.5	208-230/1/60	5.4	36	15	15

Receiver Capacity	Liquid	Suction	Length	Width	Height	Weight
5.9	3/8 OD	5/8 OD	28.25	27.875	18.75	195

Notice: Air cooled condensing units require a minimum of 1000 cfm of fresh air per horsepower



**Unit Cooler: RL6E066DDARE**

QTY

1

**6600 BTUH**

LOW-PROFILE WITH DUAL SPEED EC MOTOR :	Heaters	208-230/1/60	Fans	Qty 2
	Voltage		Voltage	
	Amps		Amps Total	
		9.8		1

Drain Connection	Inlet	Suction	Equalizer	Length	Width	Height	Weight
3/4 - 14 NPT	3/8 OD	7/8 OD	1/4 OD	43.625	15.5	18.125	52

## Standard Features:

Expansion Valve  
Solenoid Valve  
Defrost Timer

Liquid Line Filter/Drier  
Sight Glass  
Temperature Control

Condensing Unit  
Unit Cooler  
Pressure Control

## Outdoor Systems Include:

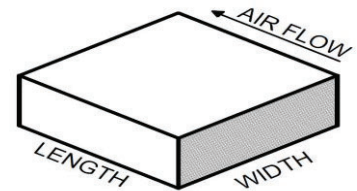
Head Pressure Control  
Weather Proof Housing  
Crankcase Heater

# Refrigeration Specification

Quote #: E027936  
Date: 08/16/2021



Combination Box - Holding cooler  
Room Temperature 35°F



28.25"

27.875"

**Condensing Unit: RFO100M4SDAALNT**

**9910 BTUH**

Ambient temp

95°F

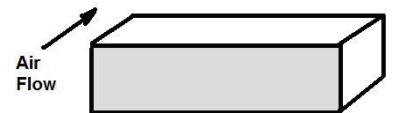
NEXT-GEN MINI-CON CONDENSING UNIT: MEDIUM TEMPERATURE: SCROLL COMPRESSOR: 208-230/1/60: FLOODED: NO DEFROST PROVISIONS: ADJUSTABLE LOW PRESSURE CONTROL

Compressor Type	Refrigerant	HP	Electrical	RLA	LRA	MCA	MOPD
Scroll	R404	0.75	208-230/1/60	7.2	46.7	15	15

Receiver Capacity	Liquid	Suction		Length	Width	Height	Weight
5.9	3/8 OD	5/8 OD		28.25	27.875	18.75	195

Notice: Air cooled condensing units require a minimum of 1000 cfm of fresh air per horsepower



Length

43.625"

Width

15.5"

**Unit Cooler: RL6A094ADARE**

QTY

1

**9400 BTUH**

LOW-PROFILE WITH DUAL SPEED EC MOTOR :	Heaters		Fans		Qty	2
	Voltage	N/A	Voltage		115/1/60	
	Amps	0	Amps Total		1.6	

Drain Connection	Inlet	Suction	Equalizer	Length	Width	Height	Weight
3/4 - 14 NPT	3/8 OD	5/8 OD	1/4 OD	43.625	15.5	18.125	55

## Standard Features:

Expansion Valve  
Solenoid Valve  
Defrost Timer

Liquid Line Filter/Drier  
Sight Glass  
Temperature Control

Condensing Unit  
Unit Cooler  
Pressure Control

## Outdoor Systems Include:

Head Pressure Control  
Weather Proof Housing  
Crankcase Heater





## James Hardie Complete Exterior™

Top to bottom, our exterior product line is defined by excellent performance, aesthetics and design options.

Provide protection from the elements, showcase a homeowner's individual style and install peace of mind with exceptional warranties through a single, trusted manufacturer.



HardieShingle®  
Siding



HardiePanel® Vertical  
Siding & HardieTrim®  
Batten Boards



HardiePlank®  
Lap Siding



HardieTrim®  
Boards



HardieSoffit®  
Panels



# HardiePlank®

Sleek and strong, HardiePlank® lap siding is not just our best-selling product – it's the most popular brand of siding in America.

With a full spectrum of colors and textures, homeowners can enjoy protection from the elements and the versatility to make their dream home a reality. From Victorians to Colonials, HardiePlank lap siding sets the standard in exterior cladding.

HardieTrim®  
Boards  
Arctic White

HardiePlank®  
Lap Siding  
Select Cedarmill®  
Khaki Brown

A classic look for  
**THE HOME OF THEIR DREAMS.**



# HardiePlank®

Thickness 5/16 in

Length 12 ft planks

## SELECT CEDARMILL® & SMOOTH

Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*
Exposure	4 in	5 in	6 in	7 in	8 in
Prime Pcs/Pallet	360	308	252	230	190
ColorPlus Pcs/Pallet	324	280	252	210	—
Pcs/Sq	25.0	20.0	16.7	14.3	12.5

## SELECT CEDARMILL®



## SELECT CEDARMILL®

Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*
STATEMENT COLLECTION™			✓	✓	
DREAM COLLECTION™	✓	✓	✓	✓	
PRIME	✓	✓	✓	✓	✓

## SMOOTH



## SMOOTH

Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*
STATEMENT COLLECTION™					
DREAM COLLECTION™	✓	✓	✓	✓	
PRIME	✓	✓	✓	✓	✓

## BEADED CEDARMILL®



## BEADED CEDARMILL® & BEADED SMOOTH

Width	8.25 in
Exposure	7 in
Prime Pcs/Pallet	240
ColorPlus Pcs/Pallet	210
Pcs/Sq	14.3

STATEMENT COLLECTION™	
DREAM COLLECTION™	✓
PRIME	✓

## BEADED SMOOTH



\*9.25 in widths do not feature the drip edge

# HardieTrim®

Form meets function at every angle with HardieTrim® boards. With an authentic look, HardieTrim boards provide design flexibility for columns, friezes, doors, windows and other accent areas.

Better than wood, it will complement your long-lasting, lower maintenance James Hardie® siding – adding punctuation to your design statement.

HardieTrim®  
Boards  
Khaki Brown

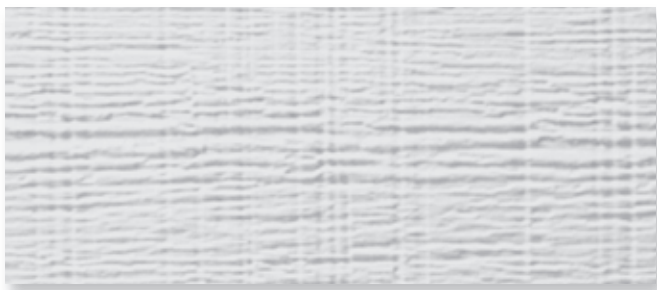
HardiePlank®  
Lap Siding  
Navajo Beige

The performance you require.  
**THE DISTINCTIVENESS YOU DESIRE.**

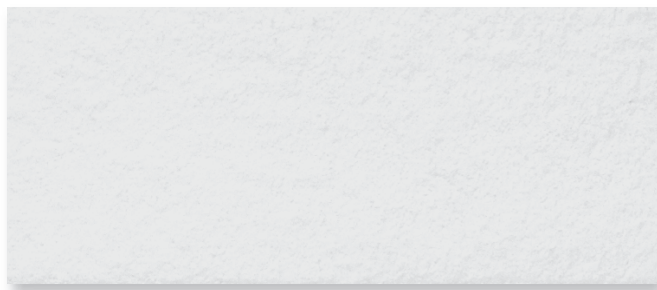
# HardieTrim®

Length 12 ft boards

## ROUGHSAWN



## SMOOTH



### 4/4 ROUGHSAWN

Thickness	.75 in				
Width	3.5 in	5.5 in	7.25 in	9.25 in	11.25 in
Prime Pcs/Pallet	312	208	156	104	104
ColorPlus Pcs/Pallet	312	208	156	104	104
STATEMENT COLLECTION™	AW	AW	✓	AW	AW
DREAM COLLECTION™	✓	✓	✓	✓	✓
PRIME	✓	✓	✓	✓	✓

### 4/4 SMOOTH

Thickness	.75 in				
Width	3.5 in	5.5 in	7.25 in	9.25 in	11.25 in
Prime Pcs/Pallet	312	208	156	104	104
ColorPlus Pcs/Pallet	312	208	156	104	104
STATEMENT COLLECTION™	AW	✓	✓	AW	AW
DREAM COLLECTION™	✓	✓	✓	✓	✓
PRIME	✓	✓	✓	✓	✓

### 5/4 ROUGHSAWN

Thickness	1 in					
Width	3.5 in	4.5 in	5.5 in	7.25 in	9.25 in	11.25 in
Prime Pcs/Pallet	240	200	160	120	80	80
ColorPlus Pcs/Pallet	240	200	160	120	80	80
STATEMENT COLLECTION™	✓		✓	✓	AW	AW
DREAM COLLECTION™	✓	✓	✓	✓	✓	✓
PRIME	✓	✓	✓	✓	✓	✓

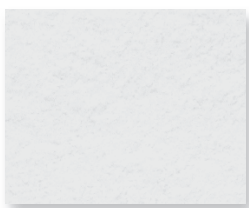
### 5/4 SMOOTH

Thickness	1 in					
Width	3.5 in	4.5 in	5.5 in	7.25 in	9.25 in	11.25 in
Prime Pcs/Pallet	240	200	160	120	80	80
ColorPlus Pcs/Pallet	240	200	160	120	80	80
STATEMENT COLLECTION™	✓		✓	✓	AW	✓
DREAM COLLECTION™	✓	✓	✓	✓	✓	✓
PRIME	✓	✓	✓	✓	✓	✓

AW - Arctic White only. Not available in the standard trim product Statement Collection™ color offering.

## BATTEN BOARDS

### SMOOTH



### RUSTIC GRAIN®



### SMOOTH & RUSTIC GRAIN®

Thickness	.75 in	STATEMENT COLLECTION™	✓
Width	2.5 in	DREAM COLLECTION™	✓
Prime Pcs/Pallet	190	PRIME	✓
ColorPlus Pcs/Pallet	437		

# HardieSoffit®

Thickness 1/4 in

## VENTED SMOOTH & SELECT CEDARMILL®

Length	12 ft	12 ft	8 ft
Width	12 in	16 in	24 in
Prime Pcs/Pallet	200	150	100
ColorPlus Pcs/Pallet	216	156	108

### VENTED SMOOTH



### VENTED SELECT CEDARMILL®



Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
------	---------------	---------------	--------------

#### STATEMENT COLLECTION™

#### DREAM COLLECTION™

#### PRIME

✓	✓	✓
✓	✓	✓

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
------	---------------	---------------	--------------

#### STATEMENT COLLECTION™

#### DREAM COLLECTION™

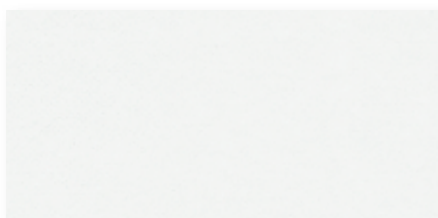
#### PRIME

✓	✓	✓
✓	✓	✓
✓	✓	✓

## NON-VENTED SMOOTH & SELECT CEDARMILL®

Length	12 ft	12 ft	8 ft	8 ft
Width	12 in	16 in	24 in	48 in
Prime Pcs/Pallet	200	150	100	50
ColorPlus Pcs/Pallet	200	150	100	—

### NON-VENTED SMOOTH



### NON-VENTED SELECT CEDARMILL®



Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in	8 ft x 48 in
------	---------------	---------------	--------------	--------------

#### STATEMENT COLLECTION™

#### DREAM COLLECTION™

#### PRIME

✓	✓	✓	✓
✓	✓	✓	✓

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in	8 ft x 48 in
------	---------------	---------------	--------------	--------------

#### STATEMENT COLLECTION™

#### DREAM COLLECTION™

#### PRIME

✓	✓	✓	✓
✓	✓	✓	✓
✓	✓	✓	✓

### BEADED PORCH PANEL



### BEADED PORCH PANEL

Thickness	1/4 in
Length	8 ft
Width	48 in
Prime Pcs/Pallet	50
ColorPlus Pcs/Pallet	50

#### STATEMENT COLLECTION™

#### DREAM COLLECTION™

#### PRIME

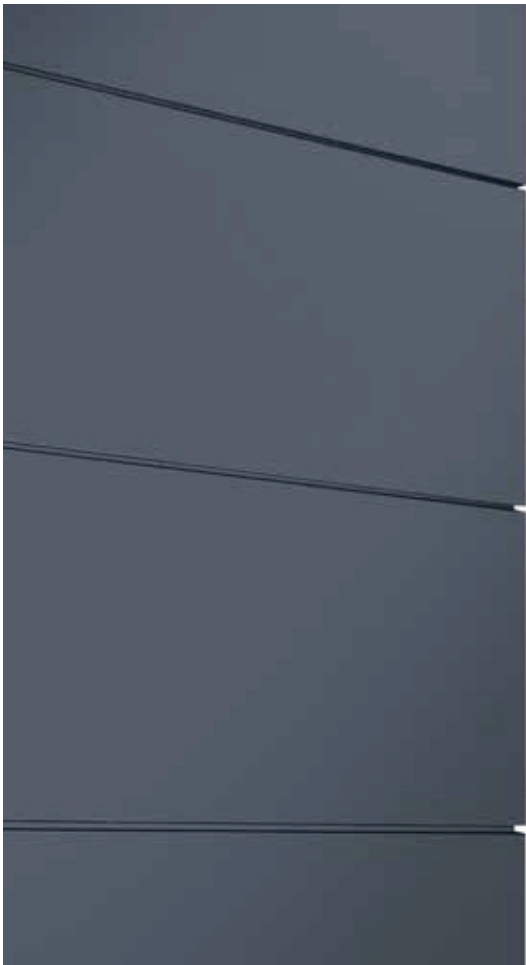
_____
✓
✓



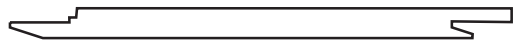


# LOCK JOINT

PROFILES



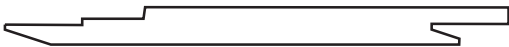
ARTISAN®  
SHIPLAP SIDING



- Brings charm to any home
- Design flexibility from modern to rustic

WIDTH 10.25 in (9.0 in Exposure)	THICKNESS 5/8 in	TEXTURE Smooth	FINISH Primed	PROFILE WIDTH x DEPTH 0.15 in x 0.263 in
--	---------------------	-------------------	------------------	--

ARTISAN®  
SQUARE CHANNEL  
SIDING



- Defined right-angle cuts
- Uniquely wide channel exposure

WIDTH 10.25 in (9.0 in Exposure)	THICKNESS 5/8 in	TEXTURE Smooth	FINISH Primed	PROFILE WIDTH x DEPTH 1.0 in x 0.263 in
--	---------------------	-------------------	------------------	---





TRIFAB® VG (VERSAGLAZE®)  
TRIFAB® VG 450, 451 & 451T (THERMAL) FRAMING SYSTEMS &  
TRIFAB® 451UT (ULTRA THERMAL) FRAMING SYSTEM



# Design + Performance

## Versatility with Unmatched Fabrication Flexibility



Geisinger Professional Building  
Jenkins Township, Pennsylvania  
ARCHITECT  
Mericle Commercial Real Estate Services  
Wilkes-Barre, Pennsylvania  
GLAZING CONTRACTOR  
Sterling Glass, Inc., Scranton, Pennsylvania  
PHOTOGRAPHER  
© Perzel Photography Group

Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5" depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels. The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs a dual Isolock® thermal break.

### AESTHETICS

Trifab® VersaGlaze® Framing Systems offer designers a choice of front-, center-, back- or multi-plane glass applications. Structural silicone

glazing (SSG) and weatherseal glazing options further expand designers' choices, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be packaged with Kawneer curtain walls and overhead glazing, thereby providing a full range of proven, and tested, quality products for the owner, architect and installer from a single-source supplier.

## ECONOMY

Trifab® VersaGlaze® 450/451/451T/451UT Framing Systems offer a variety of fabrication choices to suit your project:

- **Screw Spline** – for economical continuous runs utilizing two-piece vertical members that provide the option to pre-assemble units with controlled shop labor costs and smaller field crews for handling and installation. (available for all systems)
- **Shear Block** – for punched openings or continuous runs using tubular moldings with shear block clips that provide tight joints for transporting large pre-assembled multi-lite units. (available for 450/451/451T systems)
- **Stick** – for fast, easy field fabrication. Field measurements and material cuts can be done when metal is on the jobsite. (available for 450/451/451T systems)
- **Pre-glazed** – The combination of screw spline construction with pre-glazing in the shop accelerates installation and reduces field labor time while minimizing disruption to the surrounding area or existing tenants. Making it an exceptional choice for new or retrofit applications, particularly in urban areas or where space is limited. (available for 451/451T/451UT framing)



**Brighton Landing**  
Cambridge, Massachusetts  
ARCHITECT  
**ADD Inc., Cambridge, Massachusetts**  
GLAZING CONTRACTOR  
**Ipswich Bay Glass Company, Inc., Rowley, Massachusetts**  
PHOTOGRAPHER  
© Gordon Schenck, Jr.

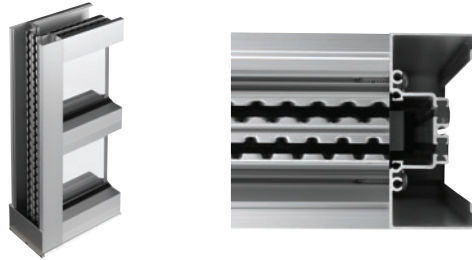
All systems can be flush glazed from either the inside or outside. The weatherseal option provides an alternative to SSG vertical mullions for Trifab® VersaGlaze® 450/451/451T. This ABS/ASA rigid polymer extrusion allows complete inside glazing and creates a flush glass appearance on the building exterior without the added labor of scaffolding or swing stages. Additionally, high-performance flashing options are engineered to eliminate perimeter sill fasteners and associated blind seals.

## FOR THE FINISHING TOUCH

Architectural Class I anodized aluminum and painted finishes in fluoropolymer (AAMA 2605) and solvent-free powder coatings (AAMA 2604) offer a variety of color choices.

## PERFORMANCE

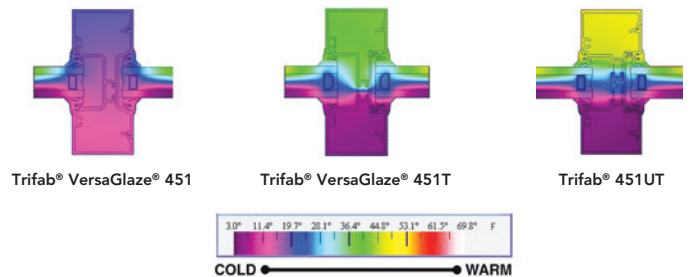
Kawneer's Isolock® thermal break technology creates a composite section, prevents dry shrinkage and is available on Trifab® VersaGlaze® 451T. For even greater thermal performance, a dual Isolock® thermal break is used on Trifab® 451UT.



Trifab® 451UT uses a dual Isolock® thermal break (right) and features a new high-performance sill design, which incorporates a screw-applied end dam (left), ensuring positive engagement and tight joints between the sill flashing and end dam.

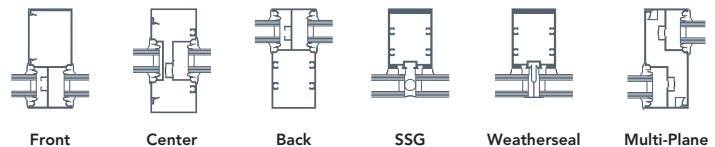
U-factor, CRF values and STC ratings for Trifab® framing systems vary depending upon the glass plane application. Project-specific U-factors can be determined for each individual project. (See the Kawneer Architectural Manual or Kawneer.com for additional information.)

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.



## PERFORMANCE TEST STANDARDS

Air Infiltration	ASTM E283
Water	AAMA 501, ASTM E331
Structural	ASTM E330
Thermal	AAMA 1503
Thermal Break	AAMA 505, AAMA TIR-A8
Acoustical	AAMA 1801, ASTM E1425





# bp Glass Garage Doors

## The Architects' Choice:

- Insulated Frames & Glass (Pat.)
- Energy Code & Hurricane Rated
- Factory Direct Shipping (US & Intl.)
- Stainless Steel Hardware & Rollers
- Custom Designs, Finishes, Glazing
- Custom Tapered/Sloped Sections

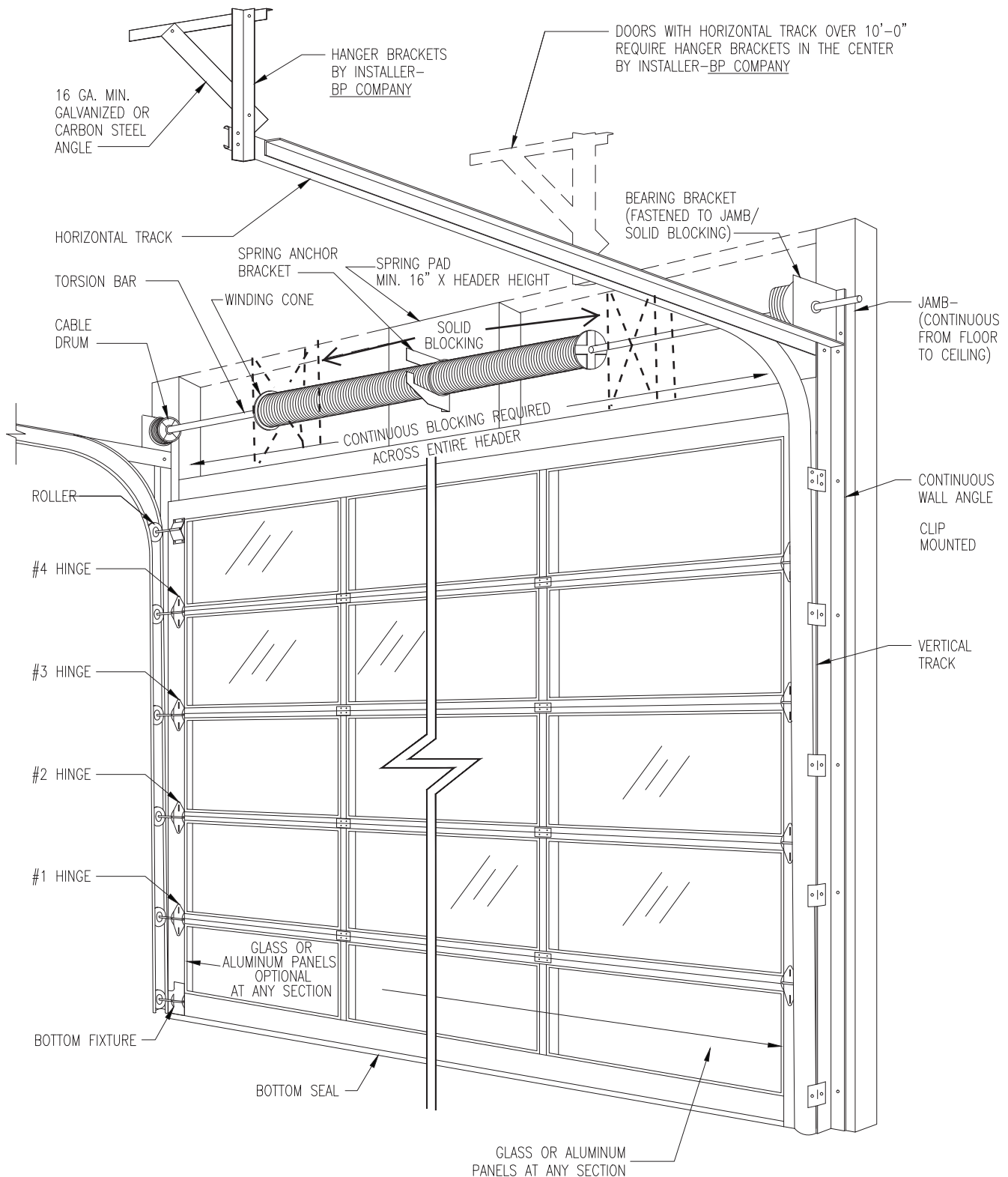
TOLL FREE:

**877-442-1716**



Phone: 626-442-1716  
[www.GlassGarageDoors.com](http://www.GlassGarageDoors.com)

1511 W. 2nd St., Pomona, CA 91766  
Email: [service@glassgaragedoors.com](mailto:service@glassgaragedoors.com)



### CRITICAL REQUIREMENTS:

1. THE INTERIOR FACE OF THE JAMBS AND ENTIRE HEADER (STRUCTURALLY OR COSMETICALLY FINISHED), MUST BE LOCATED ON THE SAME VERTICAL PLANE (FLUSH WITH EACH OTHER); FROM FLOOR TO CEILING. THIS INCLUDES FINISHES SUCH AS DRYWALL, TRIM, MOLDINGS, ETC., WHICH COULD INTERFERE WITH THE DOOR OPERATION. VERIFY THE INTERIOR AND EXTERIOR FINISHES WORK TOGETHER, AS SHOWN ON DRAWINGS 1-5; HEREIN.
2. THE INTERIOR FACE OF THE JAMBS, AND ENTIRE HEADER SHOWN BELOW (INCLUDING THE HORIZONTAL TRACK AREA, WHICH IS USED AS PART OF THE REQUIRED OPERATIONAL AIR SPACE), MUST BE KEPT CLEAR OF ANY: CONDUITS, PLUMBING LINES, HVAC, OR OTHER ITEMS, THAT CAN INTERFERE WITH THE DOOR OPERATION.
3. GARAGE DOORS ARE TYPICALLY FABRICATED 1"-2" LARGER THAN THE NET FINISHED OPENING, THEREFORE, WILL ONLY OPERATE AND ARTICULATE; ON THE INTERIOR FACE OF THE JAMBS, AND HEADER.

## INTERIOR ELEVATION



Glass Garage Doors

(877) 442-1716

[www.GlassGarageDoors.com](http://www.GlassGarageDoors.com)

DRAWING  
1 Of 5





Glass Garage Doors & Entry Systems, Inc.

## Insulated Line (US & Intl. Pat. System)

**bp** - Glass Garage Doors "**Fully Insulated Frame Technology**" (US & Intl. **Patented**) is the key factor for eliminating air leakage, when using this type of door to seal the building envelope, or enclose any "*climate controlled space*". What is the point in having insulated glass panels, if the frame leaks Air or Water? Our Insulated Frame System also enhances acoustical performance:  $STC = 36 \pm$

**bp** - **Insulated Line** glazing options consists of: **bp** insulated frames with 1/2" Air filled IG units. Each glass panel is sealed during fabrication and are available in: transparent, obscured, with or without low-E glass, and in a variety of colors to suit your design. Every glass type has a unique set of energy ratings: U-Values of  $\pm .52-.99$ , SHGC of  $\pm .15-.45$ , and VT 0.02-.46; which is determined by the glass specified on the project; to match adjacent materials.

(Keep in mind that IG units (Insulated Glass) are ineffective if the frame leaks air!)

The NFRC Certified Air Resistance Package provides an airtight system for any wall opening (24ft wide max); where building code compliance is required. **bp** doors have been tested and certified as a whole, with "**Insulated Frames**". Testing reports and CPD #'s (Certified Products Database) for various glass types can be found at: [www.NFRC.org](http://www.NFRC.org)

Air Leakage Resistance Package*	
Air Leakage Resistance Results (Per NFRC 400 / ASTM E283 / DASMA 105)	
Residential Standard	0.3 CFM
Commercial Standard	0.4 CFM
<b>bp</b> - Glass Garage Doors results	<b>0.06 CFM</b>
*Note: The lower the CFM = Better Air Leakage Resistance. Thermal ratings for U- factor, SHGC, and VT available upon request, per NFRC 100 / 200.	

• Air Infiltration package is available in combination with any type of glazing.



Note: -> The "bp - Water Resistant Option" Per ASTM E331 & E547 (SOLD SEPARATELY), must be combined with the "bp - Air Infiltration Option" to function as tested; and **CAN NOT BE INSTALLED AFTERWARDS!**

Note: Doors or Windows without Certified "NFRC" labels = **FALSE ADVERTISING**, are **ILLEGAL PER ENERGY CODE**, and will Leak Air through the Frame System! Insulated Glass Alone **WILL NOT** make a Door or Window Insulated, **Unless a bp** - Insulated Frame System is also integrated! (US & Intl. Pat)



**24ft width max. x 16ft height max.**





TIGER Drylac® 38/100003  
**RAL 9003 White** 30±5\*



TIGER Drylac® 38/70070  
**Taupe** 30±5\*



TIGER Drylac® 38/60014  
**Medium Bronze** 30±5\*



TIGER Drylac® 38/30028  
**Brick Red** 20±5\*



TIGER Drylac® 38/70049  
**Silver Grey** 30±5\*



TIGER Drylac® 38/10070  
**Bone White** 30±5\*



TIGER Drylac® 38/15002  
**Sierra Tan** 30±5\*



TIGER Drylac® 38/60080  
**Statuary Bronze** 30±5\*



TIGER Drylac® 38/60006  
**Aged Copper** 20±5\*



TIGER Drylac® 38/40025  
**Interstate Blue** 20±5\*



TIGER Drylac® 38/70048  
**Sky Grey** 30±5\*



TIGER Drylac® 38/70025  
**Ash Grey** 30±5\*



TIGER Drylac® 38/60090  
**Dark Anodized Bronze** 20±5\*



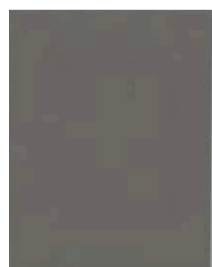
TIGER Drylac® 38/50080  
**Ivy Green** 30±5\*



TIGER Drylac® 38/40051  
**Military Blue** 30±5\*



TIGER Drylac® 38/15003  
**Almond** 30±5\*



TIGER Drylac® 38/70019  
**Slate Grey** 30±5\*



TIGER Drylac® 38/30033  
**Boysenberry** 20±5\*



TIGER Drylac® 38/50037  
**Classic Green** 30±5\*



TIGER Drylac® 38/80020  
**Jet Black** 30±5\*



TIGER Drylac® 38/15012  
**Sandstone** 30±5\*



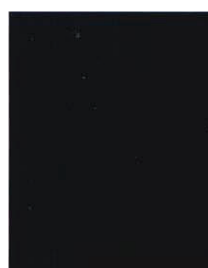
TIGER Drylac® 38/60018  
**Koko Brown** 30±5\*



TIGER Drylac® 38/30041  
**Redwood** 30±5\*



TIGER Drylac® 38/50110  
**Hartford Green** 30±5\*



TIGER Drylac 38/81009  
**Railing Black Semi Gloss** 60±5\*

Glossy

# FRAME COLOR OPTIONS

Metallic



TIGER Drylac® 38/00001  
**Clear 90+\***



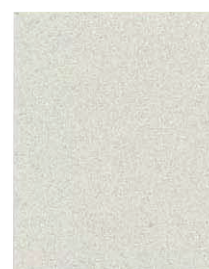
TIGER Drylac® 38/15009  
**Crème 305 85±5\***



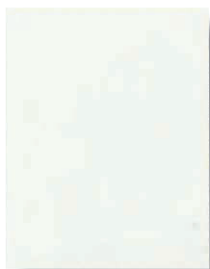
TIGER Drylac® 38/50039  
**Highland 305 85±5\***



TIGER Drylac® 38/70061  
**Grey Classic 314 85±5\***



TIGER Drylac® 38/90003  
**Argento 301 Metallic**



TIGER Drylac® 38/10007  
**Bianco 302 85±5\***



TIGER Drylac® 38/15007  
**Crème 303 85±5\***



TIGER Drylac® 38/50040  
**Highland 306 85±5\***



TIGER Drylac® 38/80002  
**Carbon 301 85±5\***



TIGER Drylac® 38/90010  
**Marine Silver**



TIGER Drylac® 38/10090  
**Extrusion White 85±5\***



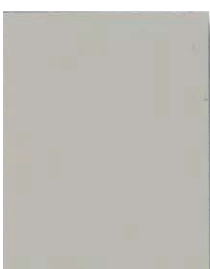
TIGER Drylac® 38/15005  
**Crème 301 85±5\***



TIGER Drylac® 38/50041  
**Highland 307 85±5\***



TIGER Drylac® 38/90007  
**Argento 305 Metallic**



TIGER Drylac® 38/70032  
**Grey Classic 303 85±5\***



TIGER Drylac® 38/60026  
**Marrone 306 85±5\***



TIGER Drylac® 38/40033  
**Azzurro 307 85±5\***



TIGER Drylac® 38/90011  
**Argento 308 Metallic**



TIGER Drylac® 38/70056  
**Grey Classic 310 85±5\***



TIGER Drylac® 38/60039  
**Marrone 308 85±5\***



TIGER Drylac® 38/70054  
**Grey Classic 308 85±5\***



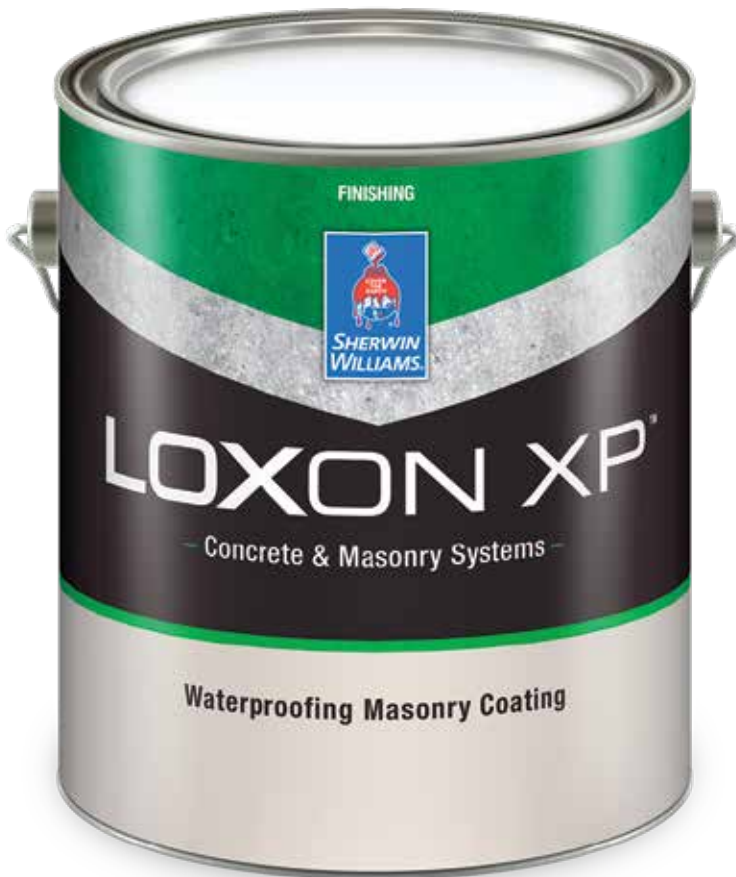
TIGER Drylac® 38/90015  
**Pearl Dark Grey Metallic**

\*Gloss level according to Gardner 60° ASTM D523. Paper and ink limitations of color samples as well as influence from heat and light account for differences from actual powder coatings.



SHERWIN-WILLIAMS®

# Protect in one less coat with **Loxon XP™** **Waterproofing** **Masonry Coating**



**Loxon XP™ Waterproofing Masonry Coating** is a smooth, high-build coating that provides excellent flexibility, durability and weather resistance.



**Ultimate waterproofing**



**Direct-to-concrete application**



**Wind-driven rain protection**



Open your smartphone camera and scan over the code to learn more about the benefits of Loxon XP™ Waterproofing Masonry Coating. ►



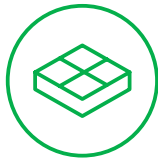


**Loxon XP™ Waterproofing Masonry Coating**  
*provides active moisture resistance protection  
 that requires no priming\* and fewer coats —  
 saving you time and money.*



#### **Provide Protection in Fewer Coats**

Requires one less coat compared to conventional masonry coatings, saving time and money.



#### **Prolong the Life of Concrete and Masonry**

Keeps concrete and masonry surfaces looking great by resisting damage from weathering.



#### **Protect Masonry from Damp Conditions**

Seals and protects exterior aboveground masonry.



#### **Finish Jobs Faster**

No need to prime. Apply directly to the concrete and cementitious surfaces.



**Industry-leading innovation from a name you can trust.** Many hours of field testing, years of research and decades of experience go into developing coatings that are better for your business. Sherwin-Williams has been committed to quality for more than 150 years and has a complete line of extraordinary paints and stains, plus rich, beautiful colors to set your work apart.



DATE: \_\_\_\_\_ TYPE: \_\_\_\_\_

NAME: \_\_\_\_\_

PROJECT: \_\_\_\_\_

Incandescent

**P5626-60**

**Acrylic Globe**

One-light cast aluminum wall torch with shatter resistant globe.

Category: Outdoor  
Finish: Black  
Construction: Polycarbonate  
Glass: White shatter-resistant acrylic globe



Width: 8"  
Height: 15"  
Depth: 10"  
H/CTR: 8"

Glass: 8" dia.

MOUNTING	ELECTRICAL	LAMPING	ADDITIONAL INFORMATION
Wall mounted  Mounting strap for outlet box included  4-1/2" sq.	Pre-wired  6" of wire supplied  120V	Quantity: 1 100W Medium Base  Medium porcelain socket	UL-CUL Wet location listed  1 year warranty  Companion fixtures are available



DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

# PRELUDE

PRL SERIES - WALLPACK

## FEATURES

- Cut off and Refractor Form Wall Pack
- Low profile LED wall luminaire for lighting applications such as retail, commercial and industrial building mount
- Field Selectable Wattages from 18 to 60 Watts
- Lumen Range from 2500-8500 lumens
- Type III Distribution for Full Cut Off configuration, (PRL-C) for applications requiring no up-light
- Type IV Distribution for Refractor Form configuration, (PRL-R) provides a further throw and higher angle light
- Wall Mounted Stylish Fixture contemporary architectural form provides an updated appearance compared to traditional HID wall packs
- Standard back profile makes the prelude perfect for retrofitting old HID glass refractor wall packs.



PRL-R-LS



PRL-C-LS

## RELATED PRODUCTS

Ø [RWL1 Ratio Wall](#) Ø [WGH Switchable](#) Ø [PRS](#)



## SPECIFICATIONS

### CONSTRUCTION

- Two Styles available - Cut Off and Refractor
- Die-cast aluminum housing
- Strong UV Stabilized Polycarbonate Lens Suitable for Outdoor Use
- Dark bronze texture powder coat paint finish provides durable and lasting appearance

### OPTICS

- 4000K CCT/70 CRI
- 2500 to 8500 Lumens
- Efficacy up to 144 LPW

### ELECTRICAL

- 0-10 Volt Dimming Driver
- Universal voltage driver is 120-277 Volt
- Ambient Operating Temperature -40°C to 40°C
- Wattage (lumen) switchable
- 4 kV Surge

### INSTALLATION

- Mounts to standard round 3-1/2" junction box and can be mounted direct to wall
- Wattage (lumens) easily field adjustable by opening cover with two screws

### CERTIFICATIONS

- Listed to UL1598 for use in wet locations
- IP65
- FCC Title 47 Part 15
- DLC® (DesignLights Consortium) Qualified. Please refer to the DLC website for specific product qualifications at [www.designlights.org](http://www.designlights.org)
- DLC Premium

### WARRANTY

- 5 year limited warranty
- See [HLI Standard Warranty](#) for additional information

## ORDERING GUIDE

### STOCK ORDERING INFORMATION

Catalog Number	Mounting	CRI	CCT	Lumens	Distribution	Wattage	Voltage	LPW	Weight	Finish
PRL-R-LS-4K	Wall	70	4000K	2553-8510	Type IV	18-60 Watts	120-277V	142-144	5.29 lbs	Bronze
PRL-C-LS-4K	Wall	70	4000K	2537-8460	Type III	18-60 Watts	120-277V	139-141	5.29 lbs	<del>Bronze</del> Black

KEY DATA	
Lumen Range	2500-8500
Wattage Range	18-60
Efficacy Range (LPW)	139-144
Fixture Projected Life (Hours)	>60K
Weights lbs. (kg)	5.29 (2.4)

# PRELUDE

PRL SERIES - WALLPACK

## PERFORMANCE DATA

Description	Nominal Wattage	Dist. Type	4K (4000K NOMINAL 70 CRI)				
			Lumens	LPW	B	U	G
PRL-R	18	4	2553	142	1	3	2
	26		3688	142	1	3	3
	35		4964	142	1	3	3
	43		6099	142	1	4	3
	52		7375	142	1	4	4
	60		8510	144	2	4	4
PRL-C	18	3	2537	141	1	0	1
	26		3665	141	1	0	1
	35		4934	141	1	0	1
	43		6062	141	1	0	1
	52		7331	141	1	0	1
	60		8460	139	2	0	2

## ELECTRICAL DATA

Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
18	120	0.15	18
	208	0.09	
	240	0.08	
	277	0.06	
26	120	0.22	26
	208	0.13	
	240	0.11	
	277	0.09	
35	120	0.29	35
	208	0.17	
	240	0.15	
	277	0.13	
43	120	0.36	43
	208	0.21	
	240	0.18	
	277	0.16	
52	120	0.43	52
	208	0.25	
	240	0.22	
	277	0.19	
60	120	0.50	60
	208	0.29	
	240	0.25	
	277	0.22	

## LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98
50°C	122°F	0.97

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

# PRELUDE

PRL SERIES - WALLPACK

## PROJECTED LUMEN MAINTENANCE

### PRL-C-LS-4K

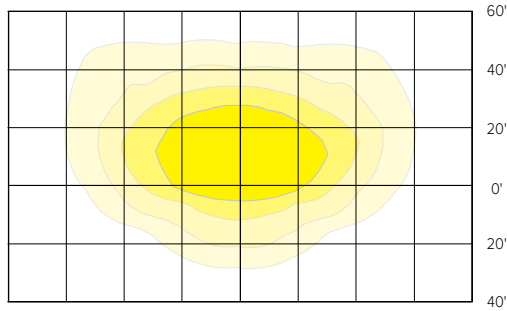
Ambient Temperature	OPERATING HOURS					
	0	25,000	TM-21-11 36,000	50,000	100,000	L70 (Hours)
25°C / 77°F	1.00	96.91	95.99	94.81	90.70	360,000
40°C / 104°F	0.99	96.42	95.31	93.90	89.06	327,000

### PRL-R-LS-4K

Ambient Temperature	OPERATING HOURS					
	0	25,000	TM-21-11 36,000	50,000	100,000	L70 (Hours)
25°C / 77°F	1.00	95.62	93.72	91.35	83.38	195,000
40°C / 104°F	0.99	95.13	93.04	90.44	81.74	177,000

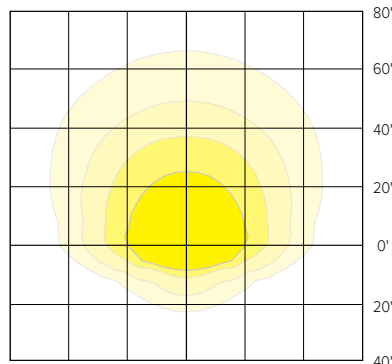
## PHOTOMETRY

### PRL-C-LS-4K



Mounting Height: 15'

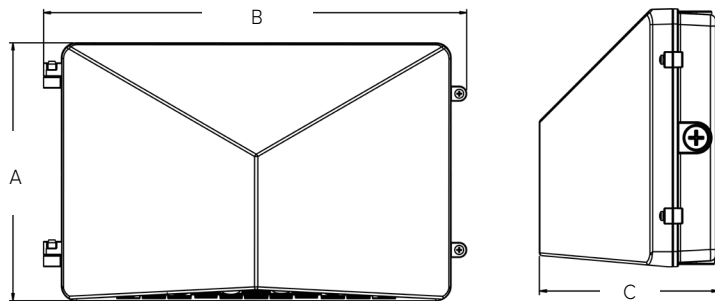
### PRL-R-LS-4K



Mounting Height: 15'

## DIMENSIONS

### PRL-C



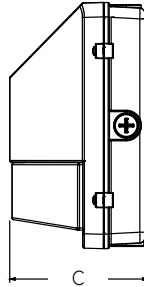
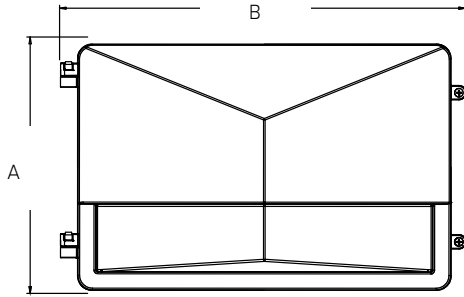
A	B	C	Weight
9.1" (231mm)	14.98" (381mm)	6.36" (163mm)	5.29lbs (2.4kg)

# PRELUDE

PRL SERIES - WALLPACK

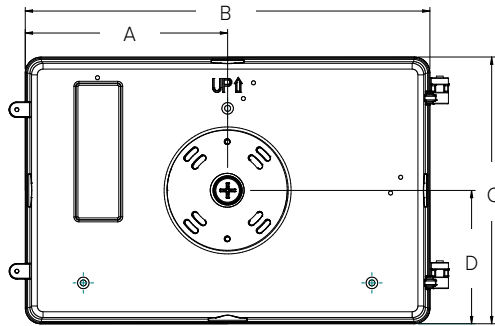
## DIMENSIONS (CONTINUED)

PRL-R



A	B	C	Weight
9.1" (231mm)	14.98" (380mm)	5.11" (130mm)	5.29lbs (2.4kg)

Back Mounting Plate



A	B	C	D
6.9" (175mm)	13.8" (351mm)	9.1" (231mm)	4.55" (116mm)

## CONTROLLER



Integral dial can be accessed by opening the front housing of the product. Six wattage options are available in each housing style.

## USE OF TRADEMARKS AND TRADE NAMES

All product and company names, logos and product identifies are trademarks ™ or registered trademarks ® of Hubbell Lighting, Inc. or their respective owners. Use of them does not necessarily imply any affiliation with or endorsement by such respective owners.

# RATIO Series

AREA/SITE LIGHTER

## FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available



IP66



See Certification Specifications



## RELATED PRODUCTS

θ [Airo](#) θ [Cimarron LED](#) θ [Ratio Family](#)

## CONTROL TECHNOLOGY



**NX DISTRIBUTED INTELLIGENCE™**

**wISCAPE™**

## SPECIFICATIONS

### CONSTRUCTION

- Rectilinear form mimics the traditional shoebox form factor keeping a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish

### OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 80, 160, 320 or 480 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- Field rotatable optics

### INSTALLATION

- Standard square arm mount, compatible with B3 drill pattern
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.
- Knuckle arm fitter option available for 2-3/8" OD tenon. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7-pin options)

### ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz

### ELECTRICAL (CONTINUED)

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised

### CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0- 10 V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
- SiteSync™ wireless control system is available via 7-pin See ordering information and details at: [www.hubbelllighting.com/sitesync](http://www.hubbelllighting.com/sitesync)
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor
- wISCAPE® available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin

### CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at [www.designlights.org](http://www.designlights.org)
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- Fixture is IP66 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See [Buy American Solutions](http://Buy American Solutions)

### WARRANTY

- 5 year limited warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	3,000–48,000
Wattage Range	25–340
Efficacy Range (LPW)	118–155
Fixture Projected Life (Hours)	L70>60K
Weights lbs. (kg)	13.5–24 (6.1–10.9)



# RATIO SERIES

AREA/SITE LIGHTER

## ORDERING GUIDE

Example: RAR1-80L-25-3K7-2-UNV-ASQ-BL-NXWE-BC

CATALOG #

## ORDERING INFORMATION

Series	# LEDs - Wattage	CCT/CRI	Distribution	Optics Rotation	Voltage
RAR1 Ratio Area Size 1	80L-25 25W - 3,000 Lumens	3K7 3000K, 70 CRI	2 IES TYPE II	Blank for no rotation	UNV Universal 120-277V
	80L-39 39W - 5,200 Lumens	4K7 4000K, 70 CRI	3 IES TYPE III	L Optic rotation left	120 120V
	80L-50 50W - 6,000 Lumens	5K7 5000K, 70 CRI	4W IES TYPE IV	R Optic rotation right	208 208V
	160L-70 70W - 9,000 Lumens		5QW IES TYPE V		240 240V
	160L-100 100W - 12,000 Lumens				277 277V
	160L-115 115W - 15,000 Lumens				347 347V
	160L-135 135W - 18,000 Lumens				480 480V
RAR2 Ratio Area Size 2	320L-110 110W - 15,000 Lumens				
	320L-140 140W - 18,000 Lumens				
	320L-165 165W - 21,000 Lumens				
	480L-185 185W - 24,000 Lumens				
	480L-210 210W - 27,000 Lumens				
	480L-240 240W - 30,000 Lumens				
	480L-255 255W - 36,000 Lumens				
	480L-295 295W - 42,000 Lumens				
	480L-340 340W - 48,000 Lumens				

Mounting	Color	Control Options Network	Options
ASQ Arm mount for square pole/flat surface	BLT Black Matte Textured	NXWE NX Wireless Enabled (module + radio)	BC Backlight control
ASQU Universal arm mount for square pole/flat surface	BLS Black Gloss Smooth	NXSPW_F NX Wireless, PIR Occ. Sensor, Daylight Harvesting <sup>2</sup>	F Fusing (must specify voltage)
Mounting Round Poles	DBT Dark Bronze Matte Textured	NXSP_F NX, PIR Occ. Sensor, Daylight Harvesting <sup>2</sup>	TB Terminal block
A_ Arm mount for round pole <sup>1</sup>	DBS Dark Brone Gloss Smooth	Control Options Other	2PF 2 power feed with 2 drivers <sup>3</sup>
A_U Universal arm mount for round pole <sup>1</sup>	GTT Graphite Matte Textured	SCP-40F Programmable occupancy sensor <sup>4</sup>	
Mounting Other	LGS Light Grey Gloss Smooth	7PR 7-Pin twist lock receptacle	
WB Wall bracket	PSS Platinum Silver Smooth	7PR-SC 7-Pin receptacle with shorting cap	
MAF Mast arm fitter for 2-3/8" OD horizontal arm	WHT White Matte Textured	7PR-MD40F Low voltage sensor for 7PR	
K Knuckle	WHS White Gloss Smooth	7PR-TL 7-Pin PCR with photocontrol	
	VGT Verde Green Textured		
	Color Option		
	CC Custom Color		

16' pole (black)  
Mount on existing concrete base

### Notes:

- 1 Replace "\_" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole
- 2 Replace "\_" with "14" for up to 14' mounting height, "30F" for 15-30' mounting height
- 3 Not available with 25, 50, 255, 295 & 340W configurations
- 4 At least one SCPREMOTE required to program SCP motion sensor

## STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Mounting	Finish
RAR1-100-4K-3	12,000	100W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR1-100-4K-4W	12,000	100W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
RAR1-135-4K-3	18,000	135W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR1-135-4K-4W	18,000	135W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
RAR2-165-4K-3	21,000	165W	320L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR2-165-4K-4W	21,000	165W	320L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

# RATIO SERIES

AREA/SITE LIGHTER

## OPTIONS AND ACCESSORIES - STOCK (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> RARRPA3DB	Round pole adapter 3.5" to 4.13" for ASQ arm, 3.5" to 4.13" OD pole, dark bronze finish
<input type="checkbox"/> RARA3UDB	Universal mount for square pole or round pole 3.5" to 4.13", dark bronze finish
<input type="checkbox"/> RARBC80L	Ratio blacklight control 80L
<input type="checkbox"/> RARBC160L	Ratio blacklight control 160L
<input type="checkbox"/> RARBC320L	Ratio blacklight control 320L
<input type="checkbox"/> RARBC480L	Ratio blacklight control 480L

## ACCESSORIES AND REPLACEMENT PARTS - MADE TO ORDER

Catalog Number	Description
<input type="checkbox"/> RAR-ASQU-XX	Universal arm mount for square pole/flat surface <sup>2</sup>
<input type="checkbox"/> RAR-A_U-XX	Universal arm mount for round poles <sup>1,2</sup>
<input type="checkbox"/> RAR-RPA_-XX	Round pole adapter <sup>1,2</sup>
<input type="checkbox"/> SETAVP-XX	4" square pole top tenon adapter, 2 3/8" OD slipfitter <sup>2</sup>
<input type="checkbox"/> RETAVP-XX	4" round pole top tenon adapter; 2 3/8" OD slipfitter for max. Four fixtures (90o); order 4" round pole adapters separately <sup>2</sup>
<input type="checkbox"/> BIRD-SPIKE-3	Ratio size 1 bird deterrent/spikes
<input type="checkbox"/> BIRD-SPIKE-4	Ratio size 2 bird deterrent/spikes
<input type="checkbox"/> RARWB-XX	Wall bracket - use with Mast Arm Fitter or Knuckle <sup>2</sup>

- 1 Replace "-" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole  
2 Replace "XX" with desired color/paint finish

## CONTROLS

### Control Options

#### Standalone

SW7PR	SiteSync™ on fixture module via 7PR
SWUSB	SiteSync™ Software on USB
SWTAB	SiteSync™ Windows Tablet
SWBRG	SiteSync™ Wireless Bridge Node
SWFC	SiteSync™ Field Commission Serve
SCPREMOTE	Order at least one per project location to program and control

#### Networked – Wireless

WIR-RME-L	wiSCAPE External Fixture Module <sup>1,2</sup>
-----------	--

#### NX Networked – Wireless

NXOFM-1R1D-UNV	NX Wireless, Daylight Harvesting, BLE, 7 pin twisted lock
----------------	---

Notes:

- 1 Works with external networked photosensor  
2 wiSCAPE Gateway required for system programming

# RATIO SERIES

AREA/SITE LIGHTER

## PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RAR1	25	25.4	2	3438	135	1	0	1	3445	136	1	0	1	3240	128	1	0	1
			3	3460	136	1	0	1	3467	136	1	0	1	3260	128	1	0	1
			4W	3406	134	1	0	1	3412	134	1	0	1	3209	126	1	0	1
			5QW	3483	137	2	0	1	3490	137	2	0	1	3282	129	2	0	1
	39	39	2	5263	139	1	0	2	5273	139	1	0	2	4960	131	1	0	2
			3	5297	139	1	0	2	5308	140	1	0	2	4991	131	1	0	2
			4W	5200	137	1	0	2	5210	137	1	0	2	4900	129	1	0	2
			5QW	5333	140	3	0	1	5344	141	3	0	1	5025	132	3	0	1
	50	49.8	2	6310	127	1	0	2	6323	127	1	0	2	5946	120	1	0	2
			3	6349	128	1	0	2	6362	128	1	0	2	5983	120	1	0	2
			4W	6233	125	1	0	2	6245	126	1	0	2	5873	118	1	0	2
			5QW	6392	129	3	0	1	6405	129	3	0	1	6023	121	3	0	1
	70	68.4	2	9486	139	1	0	2	9505	139	1	0	2	8938	131	1	0	2
			3	9544	140	1	0	2	9563	140	1	0	2	8993	131	1	0	2
			4W	9395	137	1	0	2	9414	138	1	0	2	8853	129	1	0	2
			5QW	9608	140	4	0	2	9628	141	4	0	2	9054	132	4	0	2
	100	90.0	2	11976	133	2	0	2	12000	133	2	0	2	11285	125	2	0	2
			3	12050	134	2	0	2	12074	134	2	0	2	11354	126	2	0	2
			4W	11861	132	2	0	2	11885	132	2	0	2	11177	124	2	0	2
			5QW	12131	135	4	0	2	12155	135	4	0	2	11431	127	4	0	2
	115	109.7	2	15572	142	2	0	2	15494	141	2	0	2	14871	136	2	0	2
			3	15833	144	2	0	2	15754	144	2	0	2	15121	138	2	0	2
			4W	15281	139	2	0	3	15205	139	2	0	3	14623	133	2	0	3
			5QW	15732	143	4	0	2	15653	143	4	0	2	15024	137	4	0	2
	135	133.3	2	17971	135	3	0	3	17881	134	3	0	3	17163	129	3	0	3
			3	18272	137	2	0	2	18181	136	2	0	2	17450	131	2	0	2
			4W	17635	132	2	0	3	17547	132	2	0	3	16876	127	2	0	3
			5QW	18156	136	4	0	2	18065	136	4	0	2	17339	130	4	0	2
RAR2 Performance Data on next page																		

\* Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

# RATIO SERIES

AREA/SITE LIGHTER

## PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RAR2	110	100.3	2	15326	153	2	0	3	15357	153	2	0	3	14442	144	2	0	3
			3	15421	154	2	0	3	15452	154	2	0	3	14531	145	2	0	3
			4W	15180	151	2	0	2	15210	152	2	0	2	14304	143	2	0	2
			5QW	15525	155	4	0	2	15556	155	4	0	2	14629	146	4	0	2
	140	133.2	2	19395	146	2	0	3	19434	146	2	0	3	18276	137	2	0	3
			3	19515	147	2	0	3	19554	147	2	0	3	18389	138	2	0	3
			4W	19210	144	2	0	3	19248	145	2	0	3	18101	136	2	0	3
			5QW	19647	148	5	0	3	19686	148	5	0	3	18513	139	5	0	3
	165	153.6	2	21651	141	3	0	3	21695	141	3	0	3	20402	133	3	0	3
			3	21785	142	3	0	3	21828	142	3	0	3	20527	134	3	0	3
			4W	21444	140	3	0	3	21487	140	3	0	3	20206	132	3	0	3
			5QW	21932	143	5	0	3	21976	143	5	0	3	20666	135	5	0	3
	185	174.5	2	26046	149	3	0	3	26098	150	3	0	3	24543	141	3	0	3
			3	26207	150	3	0	3	26259	150	3	0	3	24694	142	3	0	3
			4W	25797	148	3	0	4	25849	148	3	0	4	24308	139	3	0	4
			5QW	26384	151	5	0	3	26437	152	5	0	3	24861	143	5	0	3
	210	198.2	2	28848	145	3	0	4	28906	146	3	0	4	27184	137	3	0	4
			3	29027	146	3	0	4	29085	147	3	0	4	27351	138	3	0	4
			4W	28572	144	3	0	4	28630	144	3	0	4	26924	136	3	0	4
			5QW	29222	147	5	0	4	29281	148	5	0	4	27536	139	5	0	4
	240	226.9	2	32087	141	3	0	4	32151	142	3	0	4	30235	133	3	0	4
			3	32285	142	3	0	4	32350	143	3	0	4	30422	134	3	0	4
			4W	31780	140	3	0	4	31844	140	3	0	4	29946	132	3	0	4
			5QW	32503	143	5	0	4	32568	144	5	0	4	30627	135	5	0	4
	255	257.0	2	37040	144	3	0	4	36854	143	3	0	4	35373	138	3	0	4
			3	37660	147	3	0	4	37472	146	3	0	4	35966	140	3	0	4
			4W	36347	141	3	0	5	36166	140	3	0	5	34782	135	3	0	5
			5QW	37420	146	5	0	4	37233	145	5	0	4	35736	139	5	0	4
	295	294.0	2	41733	142	3	0	4	41524	141	3	0	4	39855	136	3	0	4
			3	42432	144	3	0	4	42220	144	3	0	4	40523	138	3	0	4
			4W	40953	139	3	0	5	40748	139	3	0	5	39190	133	3	0	5
			5QW	42162	143	5	0	4	41951	143	5	0	4	40264	137	5	0	4
	340	347.1	2	48392	139	4	0	5	48150	139	4	0	5	46215	133	4	0	5
			3	49203	142	3	0	4	48957	141	3	0	4	46989	135	3	0	4
			4W	47488	137	4	0	5	47261	136	4	0	5	45443	131	4	0	5
			5QW	48889	141	5	0	5	48645	140	5	0	5	46689	135	5	0	5

\* Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.



# RATIO SERIES

AREA/SITE LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

## ELECTRICAL DATA

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RAR1	25	120	0.21	25.4
		208	0.12	
		240	0.11	
		277	0.09	
	39	120	0.32	38.0
		208	0.18	
		240	0.16	
		277	0.14	
		347	0.11	
		480	0.08	
	50	120	0.42	49.8
		208	0.24	
		240	0.21	
		277	0.18	
	70	120	0.57	68.4
		208	0.33	
		240	0.29	
		277	0.25	
	100	120	0.75	90.0
		208	0.43	
		240	0.38	
		277	0.32	
	115	120	0.91	109.7
		208	0.53	
		240	0.46	
		277	0.40	
		347	0.32	
		480	0.23	
	135	120	1.11	133.3
		208	0.64	
		240	0.56	
		277	0.48	
		347	0.38	
		480	0.28	

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RAR2	110	120	0.84	100.3
		208	0.48	
		240	0.42	
		277	0.36	
	140	120	1.11	133.2
		208	0.64	
		240	0.56	
		277	0.48	
	165	120	1.28	153.6
		208	0.74	
		240	0.64	
		277	0.55	
	185	120	1.45	174.5
		208	0.84	
		240	0.73	
		277	0.63	
	210	120	1.65	198.3
		208	0.95	
		240	0.83	
		277	0.72	
	240	120	1.89	226.9
		208	1.09	
		240	0.95	
		277	0.82	
	255	120	2.14	257.0
		208	1.24	
		240	1.07	
		277	0.93	
		347	0.74	
		480	0.54	
	295	120	2.45	294.0
		208	1.41	
		240	1.23	
		277	1.06	
		347	0.85	
		480	0.61	
	340	120	2.89	347.1
		208	1.67	
		240	1.45	
		277	1.25	
		347	1.00	
		480	0.72	

## LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0° C	32° F	1.03
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	0.99
40° C	104° F	0.98
50° C	122° F	0.97

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

## PROJECTED LUMEN MAINTENANCE

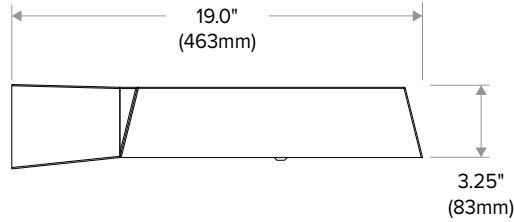
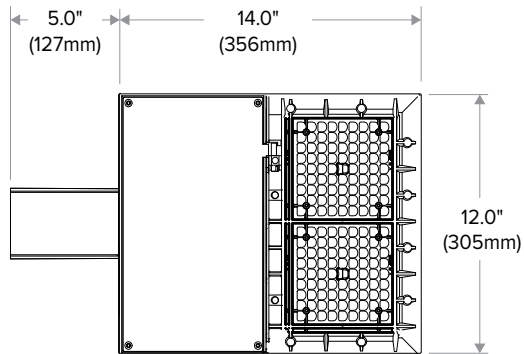
Ambient Temperature	OPERATING HOURS					
	0	25,000	TM-21-11 L90 36,000	50,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.97	0.95	0.93	0.86	238,000
40°C / 104°F	0.99	0.96	0.95	0.93	0.85	225,000

# RATIO SERIES

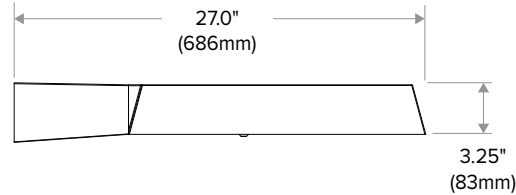
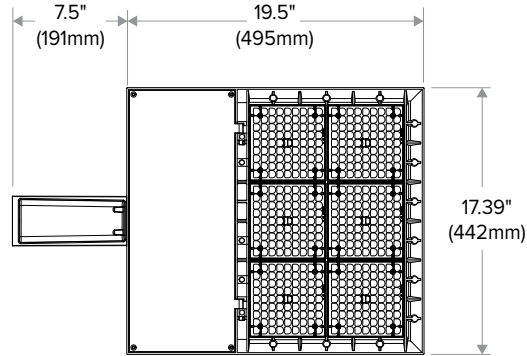
AREA/SITE LIGHTER

## DIMENSIONS

**RAR1**

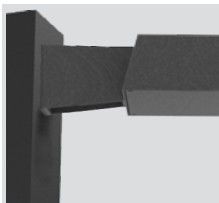


**RAR2**



## ADDITIONAL INFORMATION

### MOUNTING



**Arm Mount** – Fixture ships with integral arm for ease of installation. Compatible with Hubbell Outdoor B3 drill pattern.



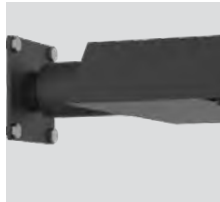
**Knuckle** – Knuckle mount 15° aiming angle increments for precise aiming and control, fits 2-3/8" tenons or pipes.



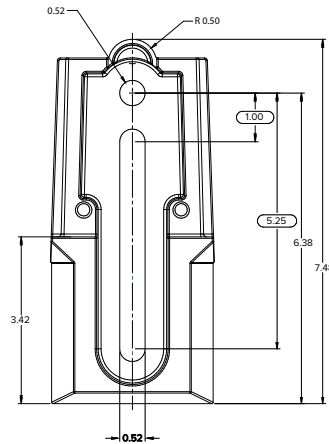
**Universal Mounting** – Universal mounting block for ease of installation. Compatible with drill patterns from 2.5" to 4.5"



**MAF** – Fits 2-3/8" OD arms Roadway applications.



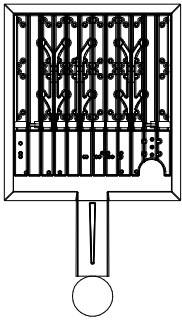
**Wall Mount** – Wall mount bracket designed for building mount applications.



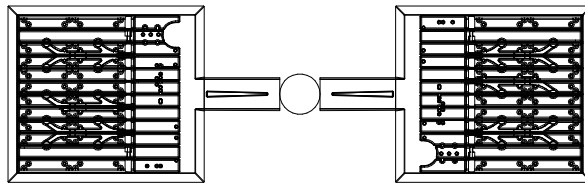
# RATIO SERIES

AREA/SITE LIGHTER

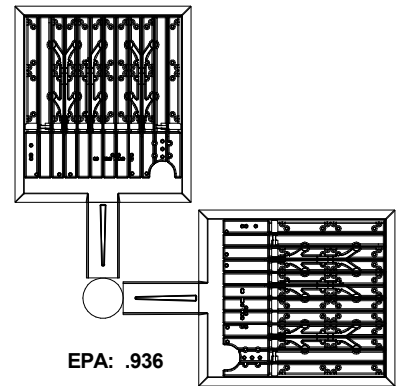
## EPA



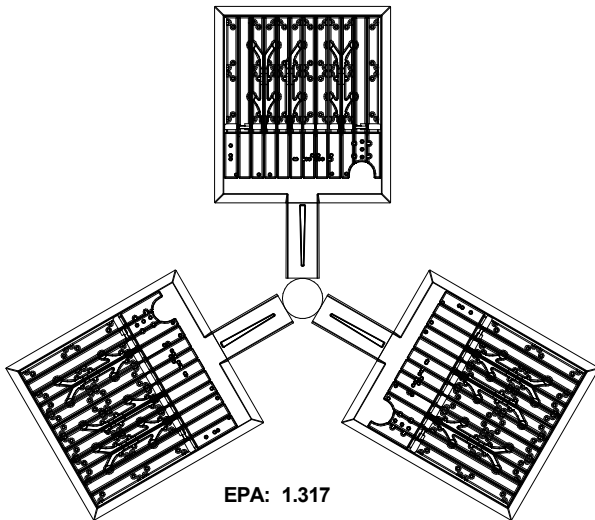
EPA: .607



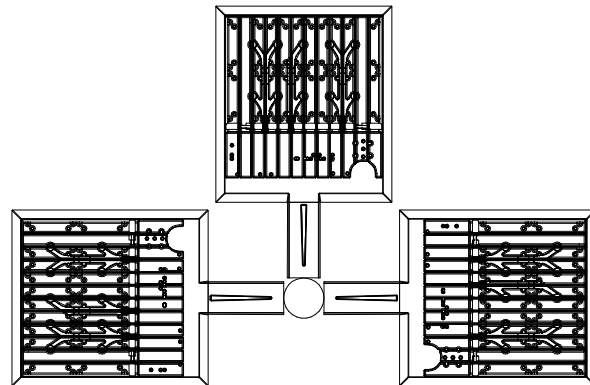
EPA: 1.214



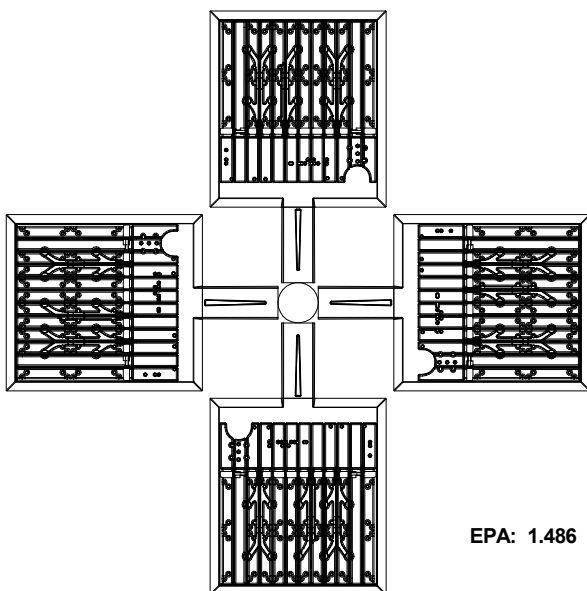
EPA: .936



EPA: 1.317



EPA: 1.486



EPA: 1.486

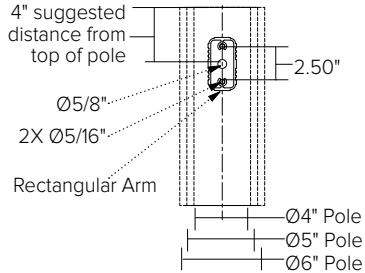
# RATIO SERIES

AREA/SITE LIGHTER

## ADDITIONAL INFORMATION (CONT'D)

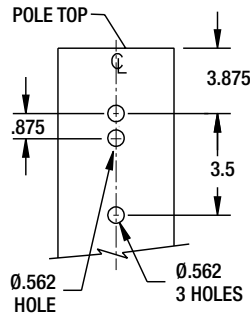
### ARM MOUNT (ASQ)

Compatible with Pole drill pattern B3



### UNIVERSAL MOUNTING (ASQU)

Compatible with pole drill pattern S2



### SITESYNC 7-PIN MODULE



SW7PR



- SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)

## PROGRAMMED CONTROLS

### ADD-AutoDim Timer Based Options

- Light delay options from 1-9 hours after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1-9 hours after the light has been dimmed previously.

EX: ADD-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	1-9 Hours	6
Auto-Dim Brightness	0-9% Brightness	5
Auto-Dim Return	Delay 0-9 Hours	R6

### ADT-AutoDim Time of Day Based Option

- Light delay options from 1AM-9PM after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1AM-9PM after the light has been dimmed previously.

EX: ADT-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	12-3 AM and 6-11 PM	6
Auto-Dim Brightness	0-9% Brightness	5
Auto-Dim Return	12-6 AM and 9-11P	R6

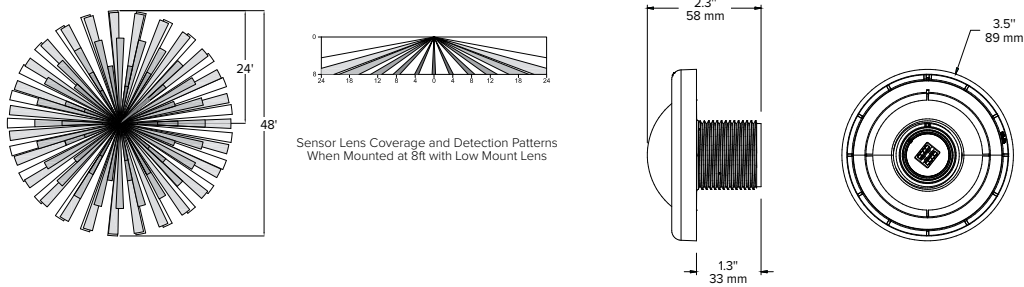


# RATIO SERIES

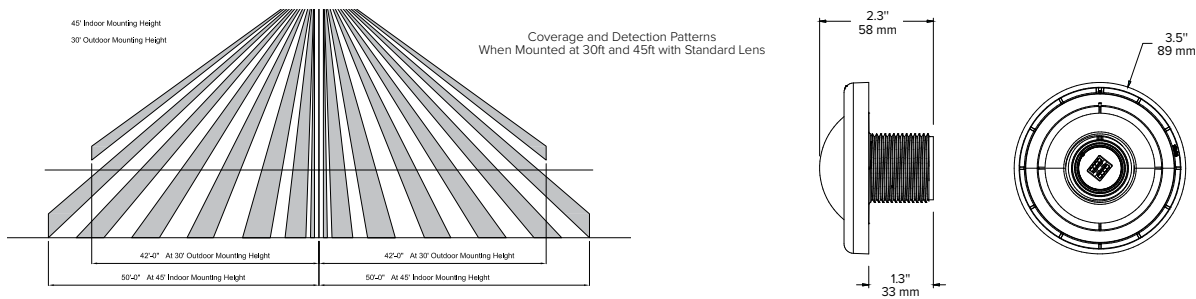
AREA/SITE LIGHTER

## ADDITIONAL INFORMATION (CONT'D)

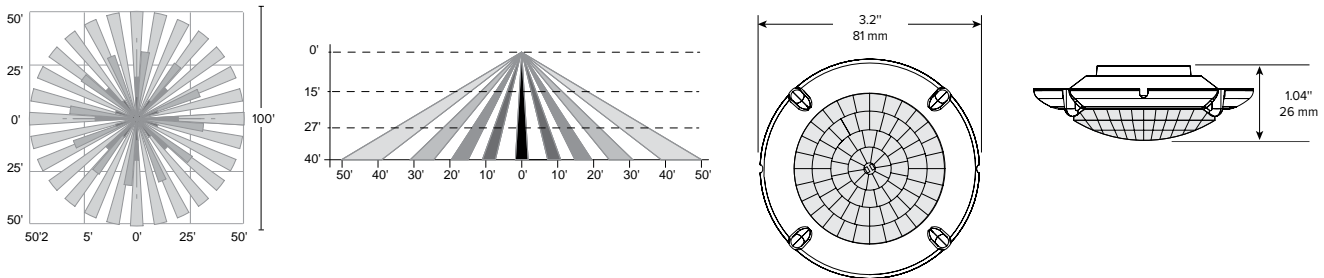
### NXSP-14F



### NXSP-30F



### SCP-40F



### RAR1 EPA

RAR-1	
EPA at 0°	EPA at 30°
.45ft. <sup>2</sup> .13m <sup>2</sup>	.56ft. <sup>2</sup> .17m <sup>2</sup>

### RAR2 EPA

RAR-2	
EPA at 0°	EPA at 30°
.55ft. <sup>2</sup> .17m <sup>2</sup>	1.48ft. <sup>2</sup> .45m <sup>2</sup>

### SHIPPING

Catalog Number	G.W(kg)/CTN	Carton Dimensions		
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
RAR1	15 (6.8)	20.75 (52.7)	15.125 (38.4)	6.9375 (17.6)
RAR2	19 (8.6)	25 (63.5)	15.125 (38.4)	6.9375 (17.6)

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

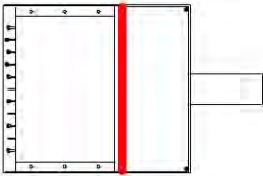
# RATIO SERIES

AREA/SITE LIGHTER

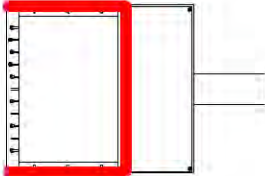
## ADDITIONAL INFORMATION (CONT'D)

### RATIO HOUSE SIDE SHIELD

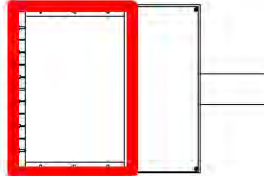
RARx HSS-90-B-xx



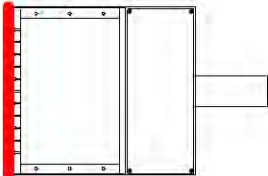
RARx HSS-270-BSS-xx



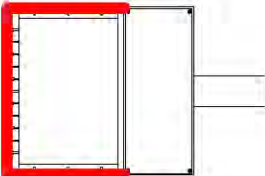
RARx HSS-360-xx



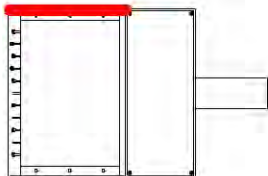
RARx HSS-90-F-xx



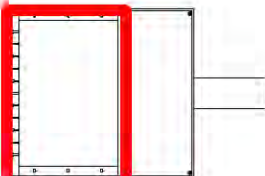
RARx HSS-270-FSS-xx



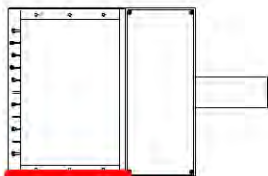
RARx HSS-90-S-xx



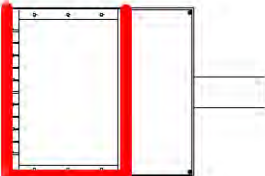
RARx HSS-270-FSB-xx



RARx HSS-90-S-xx



RARx HSS-270-FSB-xx



## USE OF TRADEMARKS AND TRADE NAMES

All product and company names, logos and product identifies are trademarks ™ or registered trademarks ® of Hubbell Lighting, Inc. or their respective owners. Use of them does not necessarily imply any affiliation with or endorsement by such respective owners.

# RSA-H SERIES POLES

ROUND STRAIGHT ALUMINUM

Cat.#

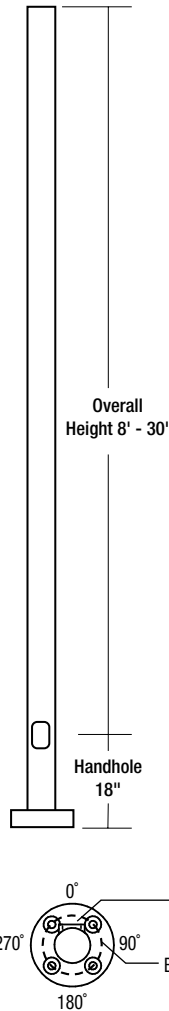
Job

Type



**HUBBELL**  
Outdoor Lighting

Approvals



## APPLICATIONS

- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

## CONSTRUCTION

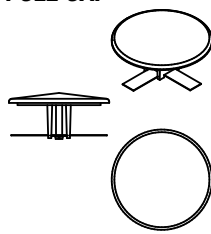
- SHAFT:** One-piece straight aluminum with round cross section; Extruded shafts of 6061-T6 aluminum in 1/8", 3/16", or 1/4" thickness. Base plate of 356 cast aluminum.
- BOLT COVERS:** Four (4) individual bolt covers provided, painted to match pole and base finish.
- BASE COVER:** 2-Piece base cover supplied with 3" diameter poles
- POLE CAP:** Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
- HAND HOLE:** Rectangular 3x5 aluminum hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located behind gasketed cover
- ANCHOR BOLTS:** Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling

## FINISH

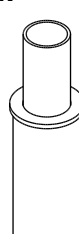
- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint finish coat available in multiple standard colors; Custom colors available; RAL number preferable.

16' pole on existing 24" concrete base - total height to fixture 18-0"

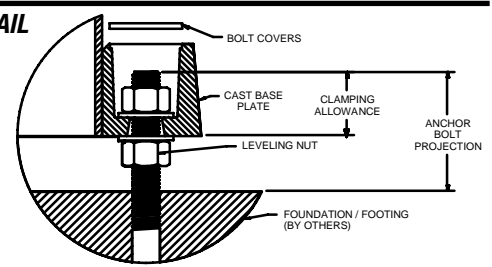
## POLE CAP



## TENON



## BASE DETAIL

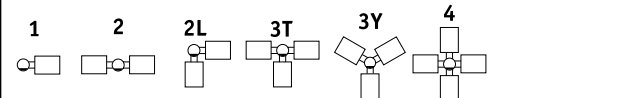


## ORDERING EXAMPLE:

**RSA-H - 16 - 40 - A/B/C - 2L - S2 - DBT - VM2**

SERIES	HEIGHT	SHAFT	THICKNESS	MOUNTING	FINISH	OPTIONS
<b>RSA-H</b> Round Straight Aluminum Pole Hubbell Outdoor	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	<b>1</b> Single arm mount <b>2</b> Two fixtures at 180° <b>2L</b> Two fixtures at 90° <b>3T</b> Three fixtures at 90° <b>3Y</b> Three at 120° <b>4</b> Four fixtures at 90° <b>TA</b> Tenon (2.375" OD) <b>TB</b> Tenon (2.875" OD) <b>OT</b> Open top (includes pole cap)	<b>BLT</b> Black Matte Textured <b>BLS</b> Black Gloss Smooth <b>DBT</b> Dark Bronze Matte Textured <b>DBS</b> Dark Bronze Gloss Smooth <b>GTT</b> Graphite Matte Textured <b>LGS</b> Light Grey Gloss Smooth <b>PSS</b> Platinum Silver Smooth <b>WHT</b> White Matte Textured <b>WHS</b> White Gloss Smooth <b>VGT</b> Verde Green Textured <b>Color Option</b> <b>CC</b> Custom Color	<b>GFI</b> 20 Amp GFCI Receptacle and Cover <b>EHH</b> Extra Handhole <b>C05</b> .5" Coupling <b>C07</b> .75" Coupling <b>C20</b> 2" Coupling <b>VM2</b> 2nd mode vibration damper <b>LAB</b> Less Anchor Bolts

## MOUNTING ORIENTATION



## DRILL PATTERN

- B3** 2 bolt (2-1/2" spacing), Ratio  
**S2** 2 bolt (3-1/2" spacing)

1 Specify option location using logic found on page 2 (Option Orientation)

## ACCESSORIES- Order Separately

Catalog Number	Description
<b>VM2SXX</b>	2nd mode vibration damper



**HUBBELL**  
Outdoor Lighting

Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000  
 Due to our continued efforts to improve our products, product specifications are subject to change without notice.



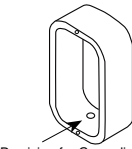
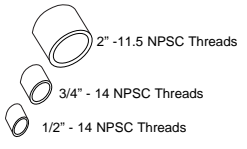
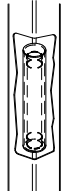
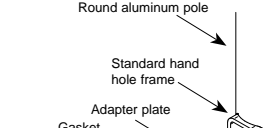

**HUBBELL**  
Lighting

© 2020 HUBBELL LIGHTING, All Rights Reserved • For more information visit our website: [www.hubbelloutdoor.com](http://www.hubbelloutdoor.com) • Printed in USA **RSA-H POLES-SPEC 03/2020**

## ORDERING INFORMATION Cont.

Catalog Number	Height		Nominal Shaft Dimensions	Wall Thickness	Bolt Circle (suggested)	Bolt Square (range)	Base Plate Diameter	Anchor bolt size	Bolt Projection	Pole weight (lbs)
	Feet	Meters								
RSA-H-08-30-A	8	2.4	3" Round	.125	6"	5.66	TRIANGULAR	5/8 x 24 x 3	2-3/4"	18
RSA-H-08-30-C	8	2.4	3" Round	.25	6"	5.66	TRIANGULAR	5/8 x 24 x 3	2-3/4"	28
RSA-H-10-40-A	10	3.0	4" Round	.125	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	27
RSA-H-12-40-A	12	3.7	4" Round	.125	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	31
RSA-H-14-40-A	14	4.3	4" Round	.125	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	36
RSA-H-16-40-A	16	4.9	4" Round	.125	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	40
RSA-H-18-40-A	18	5.5	4" Round	.125	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	45
RSA-H-20-40-A	20	6.1	4" Round	.125	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	50
RSA-H-10-40-B	10	3.0	4" Round	.188	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	38
RSA-H-12-40-B	12	3.7	4" Round	.188	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	44
RSA-H-14-40-B	14	4.3	4" Round	.188	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	51
RSA-H-16-40-B	16	4.9	4" Round	.188	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	58
RSA-H-18-40-B	18	5.5	4" Round	.188	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	65
RSA-H-20-40-B	20	6.1	4" Round	.188	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	71
RSA-H-12-40-C	12	3.7	4" Round	.25	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	57
RSA-H-14-40-C	14	4.3	4" Round	.25	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	66
RSA-H-16-40-C	16	4.9	4" Round	.25	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	75
RSA-H-18-40-C	18	5.5	4" Round	.25	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	83
RSA-H-20-40-C	20	6.1	4" Round	.25	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	92
RSA-H-12-50-B	12	3.7	5" Round	.188	7.75"	5.48	10.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	56
RSA-H-14-50-B	14	4.3	5" Round	.188	7.75"	5.48	10.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	64
RSA-H-16-50-B	16	4.9	5" Round	.188	7.75"	5.48	10.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	73
RSA-H-18-50-B	18	5.5	5" Round	.188	7.75"	5.48	10.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	81
RSA-H-20-50-B	20	6.1	5" Round	.188	7.75"	5.48	10.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	90
RSA-H-25-50-B	25	7.6	5" Round	.188	7.75"	5.48	10.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	111
RSA-H-16-60-A	16	4.9	6" Round	.125	8.75"	6.19	11.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	60
RSA-H-18-60-A	18	5.5	6" Round	.125	8.75"	6.19	11.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	67
RSA-H-20-60-A	20	6.1	6" Round	.125	8.75"	6.19	11.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	74
RSA-H-25-60-A	25	7.6	6" Round	.125	8.75"	6.19	11.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	91
RSA-H-18-60-C	18	5.5	6" Round	.25	8.75"	6.19	11.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	127
RSA-H-20-60-C	20	6.1	6" Round	.25	8.75"	6.19	11.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	140
RSA-H-25-60-C	25	7.6	6" Round	.25	8.75"	6.19	11.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	174
RSA-H-30-60-C	30	9.1	6" Round	.25	8.75"	6.19	11.62" Dia x 1.88" Thk	3/4 x 30 x 3	2-3/4"	208

NOTE Factory supplied template must be used when setting anchor bolts. Hubbell Lighting will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.

<p><b>EHH - EXTRA HANDHOLE</b></p>  <p>Provision for Grounding</p>	<p><b>C05 - C07 - C20 - COUPLING</b></p>  <p>2" - 11.5 NPS Threads 3/4" - 14 NPS Threads 1/2" - 14 NPS Threads</p>	<p><b>VM2 - VIBRATION DAMPER 2ND MODE</b></p>  <p>Factory installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.</p>	<p><b>GFI - 20 AMP GFCI RECEPTACLE &amp; COVER</b></p>  <p>Round aluminum pole Standard hand hole frame Adapter plate Gasket 20 AMP GFCI Wet Locations In-use Cover</p>
<p><b>OPTION ORIENTATION</b></p> <p>Follow the logic below when ordering location specific options. For each option, include its orientation (in degrees) and its height (in feet). Example: Option C07 should be ordered as: <b>RSA-H-20-40-A-TA-DB-C05-0-15</b> (.5" coupling on the handhole/arm side of pole, 15 feet up from the pole base) 1' spacing required between option. Consult factory for other configurations.</p>		<p><b>VM2SXX - VIBRATION DAMPER 2ND MODE</b></p>  <p>Field installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.</p> <p>VM2S08 - 8' VM2S12 - 12' VM2S16 - 16' VM2S20 - 20' VM2S24 - 24'</p>	

For more information about pole vibration and vibration dampers, please consult [http://cdn.spauldinglighting.com/content/products/literature/literature\\_files/Pole\\_Wind\\_Induced\\_Flyer\\_HL010022.pdf](http://cdn.spauldinglighting.com/content/products/literature/literature_files/Pole_Wind_Induced_Flyer_HL010022.pdf)  
Due to our continued efforts to improve our products, product specifications are subject to change without notice.



**HUBBELL**  
Outdoor Lighting

Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

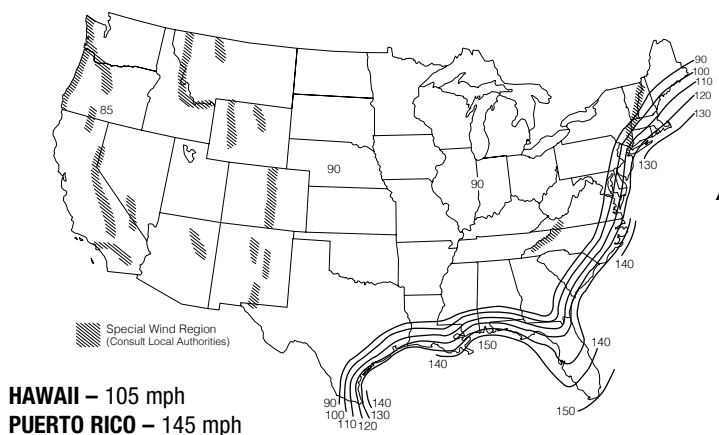
© 2020 HUBBELL LIGHTING, All Rights Reserved • For more information visit our website: [www.hubbelloutdoor.com](http://www.hubbelloutdoor.com) • Printed in USA RSA-H POLES-SPEC 03/2020



**HUBBELL**  
Lighting



# ASCE7-05 WIND MAP

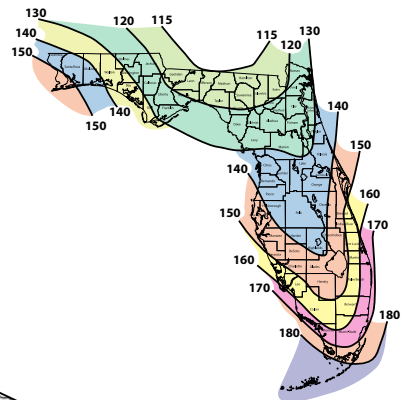


\*PRINTED WITH PERMISSION FROM ASCE

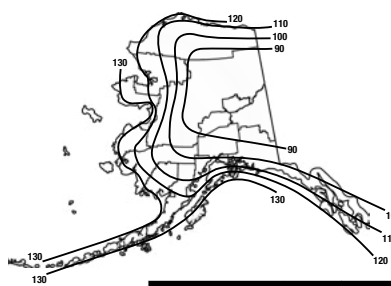
ASCE 7-05 wind map EPA Load Rating - 3 second gust wind speeds										
Catalog Number	85	90	100	105	110	120	130	140	145	150
RSA-H-08-30-A	6.3	5.5	4.3	3.8	3.4	2.7	2.2	1.7	1.5	1.4
RSA-H-08-30-C	11.8	10.5	8.5	7.6	6.9	5.6	4.7	3.9	3.6	3.3
RSA-H-10-40-A	9.0	7.9	6.2	5.5	4.8	3.9	3.2	2.7	2.5	2.3
RSA-H-12-40-A	6.8	5.9	4.5	3.9	3.4	2.6	2.1	1.7	1.6	1.4
RSA-H-14-40-A	5.1	4.4	3.1	2.6	2.2	1.6	1.2	0.9	0.8	0.7
RSA-H-16-40-A	3.8	3.2	2.1	1.6	1.3	0.7	0.5	NR	NR	NR
RSA-H-18-40-A	2.7	2.1	1.2	0.8	NR	NR	NR	NR	NR	NR
RSA-H-20-40-A	1.7	1.2	NR	NR	NR	NR	NR	NR	NR	NR
RSA-H-10-40-B	13.7	12.1	9.6	8.6	7.7	6.3	5.3	4.5	4.2	3.9
RSA-H-12-40-B	10.7	9.4	7.3	6.5	5.7	4.6	3.8	3.2	3.0	2.7
RSA-H-14-40-B	8.4	7.3	5.6	4.9	4.2	3.3	2.7	2.2	2.0	1.9
RSA-H-16-40-B	6.6	5.8	4.2	3.6	3.0	2.2	1.8	1.4	1.3	1.1
RSA-H-18-40-B	5.1	4.3	3.0	2.4	2.0	1.3	1.0	0.7	0.6	0.5
RSA-H-20-40-B	3.8	3.1	2.0	1.5	1.1	0.5	NR	NR	NR	NR
RSA-H-12-40-C	14.1	12.5	9.9	8.8	7.9	6.4	5.4	4.6	4.2	3.9
RSA-H-14-40-C	11.3	9.9	7.7	6.8	6.0	4.8	4.0	3.4	3.1	2.9
RSA-H-16-40-C	9.1	7.9	6.0	5.3	4.6	3.5	2.9	2.4	2.2	2.0
RSA-H-18-40-C	7.3	6.3	4.6	3.9	3.3	2.4	1.9	1.6	1.4	1.2
RSA-H-20-40-C	5.7	4.8	3.4	2.8	2.3	1.5	1.1	0.8	0.7	0.6
RSA-H-12-50-B	18.1	16.0	12.9	11.7	10.6	8.9	7.5	6.4	5.9	5.5
RSA-H-14-50-B	14.6	12.8	10.2	9.2	8.4	7.0	5.8	5.0	4.6	4.3
RSA-H-16-50-B	11.9	10.3	8.1	7.3	6.6	5.4	4.5	3.8	3.5	3.3
RSA-H-18-50-B	9.5	8.2	6.3	5.7	5.1	4.2	3.4	2.8	2.6	2.4
RSA-H-20-50-B	7.5	6.4	4.8	4.3	3.8	3.0	2.4	2.0	1.8	1.6
RSA-H-25-50-B	3.8	2.9	1.9	1.6	1.3	0.9	0.6	NR	NR	NR
RSA-H-16-60-A	11.9	10.6	8.4	7.6	6.9	5.7	4.7	4.0	3.7	3.4
RSA-H-18-60-A	9.5	8.4	6.7	6.0	5.4	4.4	3.6	3.0	2.8	2.5
RSA-H-20-60-A	7.5	6.5	5.1	4.6	4.1	3.3	2.7	2.2	2.0	1.8
RSA-H-25-60-A	3.6	3.1	2.2	1.9	1.6	1.1	0.8	0.5	NR	NR
RSA-H-18-60-C	21.4	19.1	15.5	14.0	12.0	9.9	8.3	7.0	6.5	6.0
RSA-H-20-60-C	17.9	15.9	12.8	11.6	10.5	8.1	6.8	5.7	5.2	4.8
RSA-H-25-60-C	11.4	10.1	8.0	7.2	6.5	4.8	3.9	3.2	2.9	2.6
RSA-H-30-60-C	6.9	6.0	4.6	4.1	3.6	2.4	1.8	1.4	1.2	1.1

# FLORIDA REGION WIND MAP

- Florida region wind map above is based upon 3-second gust winds and the 2017 Florida Building Code



# ALASKA REGION WIND MAP



Florida Building Code 2017 EPA Load Rating - 3 second gust wind speeds								
Catalog Number	115	120	130	140	150	160	170	180
RSA-H-08-30-A	4.5	4.1	3.3	2.7	2.2	1.8	1.5	1.2
RSA-H-08-30-C	8.8	8.1	6.8	5.7	4.9	4.1	3.5	3.0
RSA-H-10-40-A	6.4	5.8	4.7	3.8	3.1	2.5	2.4	2.3
RSA-H-12-40-A	4.6	4.1	3.2	2.4	1.8	1.7	1.6	1.5
RSA-H-14-40-A	3.2	2.8	2.0	1.4	0.9	NR	NR	NR
RSA-H-16-40-A	2.1	1.7	1.0	0.5	NR	NR	NR	NR
RSA-H-18-40-A	1.1	0.8	NR	NR	NR	NR	NR	NR
RSA-H-10-40-B	10.1	9.1	7.6	6.3	5.3	4.4	4.2	3.9
RSA-H-12-40-B	7.6	6.9	5.6	4.5	3.7	2.9	2.8	2.7
RSA-H-14-40-B	5.8	5.1	4.0	3.1	2.4	1.8	1.6	1.4
RSA-H-16-40-B	4.3	3.7	2.7	2.0	1.3	0.8	0.5	NR
RSA-H-18-40-B	3.0	2.5	1.7	1.0	NR	NR	NR	NR
RSA-H-20-40-B	1.9	1.5	0.7	NR	NR	NR	NR	NR
RSA-H-12-40-C	10.3	9.3	7.7	6.4	5.3	4.4	4.2	4.0
RSA-H-14-40-C	8.0	7.2	5.8	4.7	3.8	3.0	2.8	2.6
RSA-H-16-40-C	6.2	5.5	4.3	3.3	2.5	1.9	1.7	1.5
RSA-H-18-40-C	4.6	4.0	3.0	2.1	1.5	0.9	0.7	0.5
RSA-H-20-40-C	3.3	2.8	1.9	1.2	0.6	NR	NR	NR
RSA-H-12-50-B	13.2	12.0	9.9	9.4	8.0	6.8	5.9	5.1
RSA-H-14-50-B	10.4	9.3	7.5	7.0	6.3	5.3	4.5	3.8
RSA-H-16-50-B	8.0	7.1	5.6	5.3	4.9	4.0	3.3	2.7
RSA-H-18-50-B	6.1	5.3	3.9	3.6	3.3	3.0	2.3	1.8
RSA-H-20-50-B	4.4	3.7	2.9	2.8	2.7	2.1	1.5	1.1
RSA-H-25-50-B	1.3	0.7	1.0	0.5	NR	NR	NR	NR
RSA-H-16-60-A	9.3	8.4	6.8	5.5	4.5	3.7	2.9	2.3
RSA-H-18-60-A	7.4	6.6	5.3	4.2	3.3	2.5	1.9	1.4
RSA-H-20-60-A	5.9	5.2	4.0	3.0	2.2	1.6	1.0	0.6
RSA-H-25-60-A	3.0	2.4	1.5	0.8	0.2	NR	NR	NR
RSA-H-18-60-C	16.5	15.0	12.4	10.4	8.7	7.4	6.2	5.2
RSA-H-20-60-C	13.8	12.5	10.3	8.5	7.0	5.8	4.8	4.0
RSA-H-25-60-C	9.0	8.0	6.3	4.9	3.8	2.9	2.1	1.5
RSA-H-30-60-C	5.6	4.8	3.5	2.4	1.5	0.8	NR	NR



**HUBBELL**  
Outdoor Lighting

Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

© 2020 HUBBELL LIGHTING, All Rights Reserved • For more information visit our website: [www.hubbelloutdoor.com](http://www.hubbelloutdoor.com) • Printed in USA



**HUBBELL**  
Lighting

RSA-H POLES-SPEC 03/2020

---

## NOTES

### Wind-speed Website disclaimer:

Hubbell Lighting has no connection to the linked website and makes no representations as to its accuracy. While the information presented on this third-party website provides a useful starting point for analyzing wind conditions, Hubbell Lighting has not verified any of the information on this third party website and assumes no responsibility or liability for its accuracy. The material presented in the windspeed website should not be used or relied upon for any specific application without competent examination and verification of its accuracy, suitability and applicability by engineers or other licensed professionals. Hubbell Lighting Inc. does not intend that the use of this information replace the sound judgment of such competent professionals, having experience and knowledge in the field of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the results of the windspeed report provided by this website. Users of the information from this third party website assume all liability arising from such use. Use of the output of these referenced websites do not imply approval by the governing building code bodies responsible for building code approval and interpretation for the building site described by latitude/longitude location in the windspeed report. <http://windspeed.atcouncil.org>

- Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
- The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
- Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
- Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Hubbell Lighting's Pole Vibration Application Guide for environmental risk factors and design considerations. [http://cdn.spauldinglighting.com/content/products/literature/literature\\_files/Pole\\_Wind\\_Induced\\_Flyer\\_HL010022.pdf](http://cdn.spauldinglighting.com/content/products/literature/literature_files/Pole_Wind_Induced_Flyer_HL010022.pdf)
- Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

---

**Due to our continued efforts to improve our products, product specifications are subject to change without notice.**

---



**HUBBELL**  
Outdoor Lighting

Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

© 2020 HUBBELL LIGHTING, All Rights Reserved • For more information visit our website: [www.hubbelloutdoor.com](http://www.hubbelloutdoor.com) • Printed in USA **RSA-H POLES-SPEC 03/2020**



**HUBBELL**  
Lighting



1200 WILMETTE AVENUE  
WILMETTE, ILLINOIS 60091-0040

COMMUNITY DEVELOPMENT  
DEPARTMENT

(847) 853-7550  
FAX (847) 853-7701  
TDD (847) 853-7634  
EMAIL [comdev@wilmette.com](mailto:comdev@wilmette.com)

**Date:** March 4, 2022

**To:** Chairman Smith and the Appearance Review Commission

**From:** [Lucas Sivertsen](#), Business Development Coordinator

**Subject:** **2021-AR-47 200 Skokie Boulevard Additional Correspondence**

---

Attached please find additional correspondence submitted after the Appearance Review Commission agenda packet was issued.

1.0 Letter from Jacob & Andrea Wallach, 208 Charles Place, dated March 3, 2022

Village of Wilmette  
Appearance Committee

March 3, 2022

Re: Proposed CaddyShack Restaurant at 200 Skokie

Dear members of the committee

Caddyshack Restaurant and Sports Bar intends to operate a full-service restaurant and bar seeking a zone use variance to increase the restaurant space by 2380 square feet from the existing 4303 square feet to 6683 square feet which is more than a 50% increase.

This restaurant is located in the midst of a residential neighborhood which spans Glenview Road and Old Glenview Road east and west of Skokie Blvd as well as homes on Sunset and Westmorland streets and 8 townhomes kiddy corner from the restaurant on the 200 block of Skokie Blvd. It does not compare in any way to the Wilmette Country Club's restaurant which is surrounded by a golf course fenced in by trees, shrubbery and a tall fence.

The proposed CaddyShack restaurant's lot is adjacent to 4 residential units of the Charles Place Townhomes Complex which consists of 17 units directly north of the restaurant. It is also adjacent to 4 homes on Sunset Street directly east of the restaurant. All of these share a yard fence with the restaurant.

We are asking the committee to deny the proposed west side expansion of the restaurant for the following reason:

The expansion is inconsistent with the community character of the neighborhood. It brings the building right up to the sidewalk and intends to tear up shrubbery and vegetation which greatly enhance the appearance of the property and have been there for 40+ years. The previous Baker's Square blended well with the surrounding residences and had a home look and feel to it. The proposed Caddyshack is an aesthetic deterioration. It has an industrial look better suited in its Rosemont location near the Rosemont Theatre and outlet mall and not in a residential neighborhood. We have a substantial amount of foot traffic by the restaurant primarily by residents on their walking exercise in the early evening hours. It is unpleasant and invasive for pedestrians as well as dinners to be in such a proximity as is proposed by the expansion. There is also a fair amount of



teenagers zooming on their bikes precisely at the times that the restaurant will try to capitalize on outdoor dining. This presents a danger as the bikes trying to avoid pedestrians may end up crashing into the tables close to the sidewalks when the doors of the addition are rolled up. Heavy traffic on Skokie Blvd should also be considered as it presents the danger of cars veering off the road and into the open expansion of the restaurant. The intersection down the block at Skokie Blvd and Glenview road is accident prone, the latest occurred today as we write this letter.

We thank you for your consideration

Respectfully

Jacob and Andrea Wallach

208 Charles Place

Wilmette

**Report to the Appearance Review Commission  
from the  
Department of Community Development**

**Case Number:** 2022-AR-03

**Property:** 3520 Lake Avenue

**Zoning District:** NR, Neighborhood Retail

**Petitioner:** Katie Getz, as agent for Starbucks

**Request:** The petitioner requests an Appearance Review Certificate to install exterior lighting and window film.

**Applicable Provisions of Ordinances:** 20-3.5, Appearance Review Commission Powers  
20-5.7, Appearance Review Certificate

**Meeting Date:** March 7, 2022

**Date of Application:** January 26, 2022

**Notices:** Certificate of Posting dated, February 17, 2022

**Report Prepared By:** Lucas Sivertsen, AICP  
Business Development Coordinator

--

## **Description of the Property**

The subject property is located on the north side of Lake Avenue in the NR, Neighborhood Retail, Zoning District. The surrounding uses include single-family detached residences to the north, a limited-service restaurant to the east, a mix of office and multi-family residential to the south across Lake Avenue and a convenience store to the west.

## **Description of Request**

The petitioner requests an Appearance Review Certificate to install exterior lighting and window film. The lighting will be installed on either side of the drive-thru window. The window film is proposed to accommodate interior remodeling that would obscure the window. A material sample of the window film will be provided at the meeting.

## **Action Required**

The Appearance Review Commission can grant an Appearance Review Certificate provided the proposal meets the following standards of review:

### **Appearance Review Certificate Standards of Review**

1. All sides of a structure receive design consideration.
2. If the side or rear of the structure faces a street, a residential use, or a property located in a residential zoning district, the exterior materials used on the side or rear are comparable in character and quality to the exterior materials used on the facade of the structure.
3. Materials used in the construction and design of the structure are of durable quality.
4. Mechanical equipment is located or screened so as not to be visible from surrounding streets and properties.
5. The scale and placement of the structure on the site is appropriate to the proportion of the site covered by the structure and the location of the structure in relation to its lot lines.
6. Building design and placement must take into consideration natural grade conditions, existing vegetation, and other natural features.
7. Excessive similarity or dissimilarity in design in relation to surrounding or adjoining structures is discouraged, including but not limited to building height, exterior materials, building mass, roof line, and architectural features.
8. Design takes into consideration the relationship to the street and the pedestrian environment.
9. Parking, storage, and refuse areas are located and screened so as not to negatively affect neighboring properties.

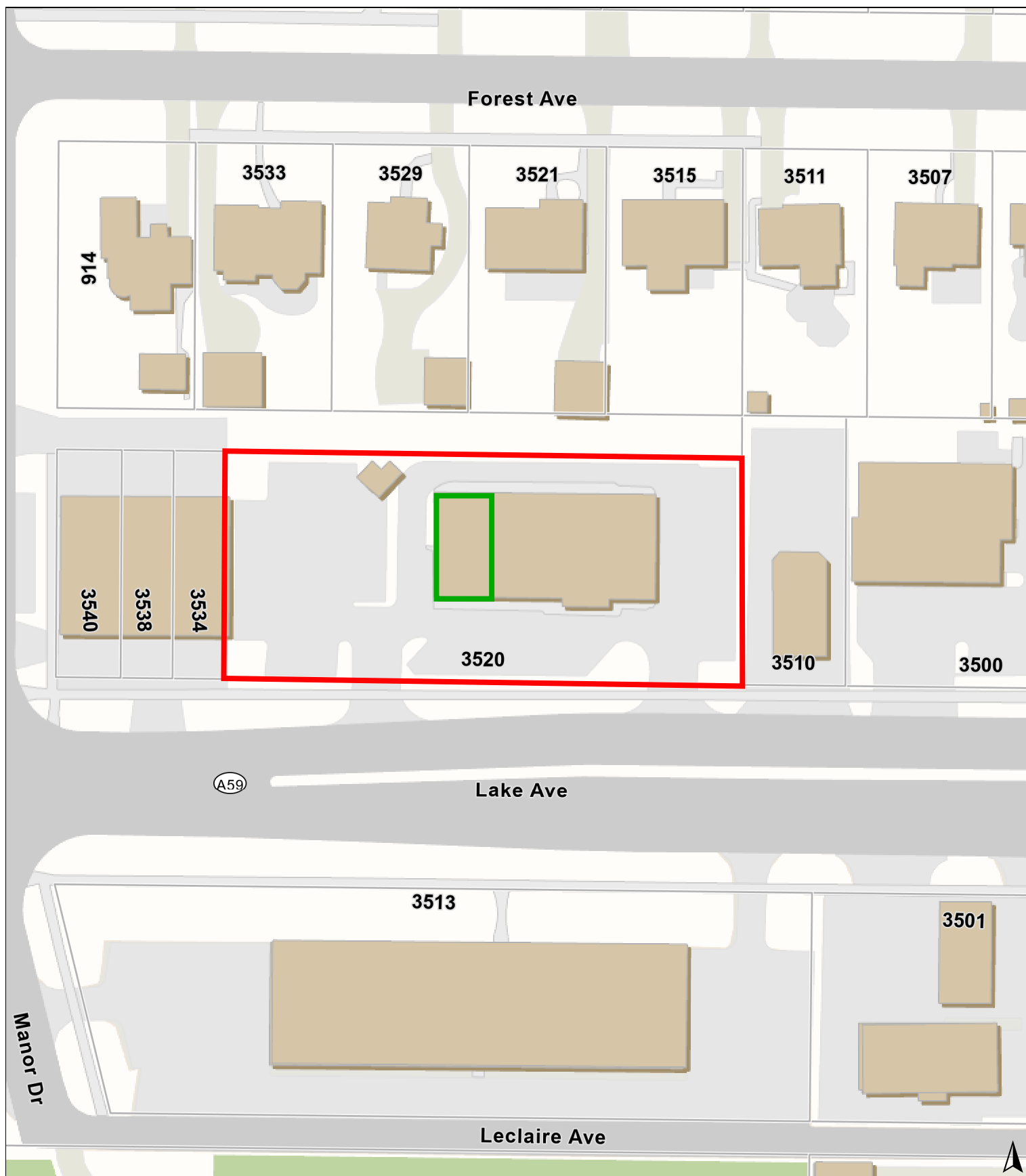
10. Landscape is designed to maintain existing mature trees and shrubs to the maximum extent possible.
11. Landscape provides an aesthetically pleasing design and, where applicable, provides for the screening of parking, storage, refuse, and utility areas from the street and adjacent residential properties.
12. Selected plant materials shall be suitable to Wilmette's climate and to their location on the site. The use of invasive species is prohibited. Invasive species shall be those included in the "Chicago Botanic Garden" list of "Invasive Plants in the Chicago Region."
13. Parking areas are designed to achieve efficient traffic flow and minimize dangerous traffic movements.
14. Signs are of the appropriate design, color and placement to the structure, site and adjoining properties, in terms of materials, height, setback from the street, and proportion.
15. Accessory structures, exterior lighting and fences, complement the overall structure and site design, in terms of materials, size, and architectural character.
16. For new two-unit dwellings, review is limited to whether or not the proposed structure maintains the external appearance of a single-family dwelling.

## **Case File Documents**

### **Location Maps and Plans**

- 2.1 GIS Map
- 2.2 Floor Plans and Elevations
- 2.3 Window Film Specifications
- 2.4 Light Fixture Specifications





0 50 100  
ft

Print Date: 3/3/2022

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

ABBREVIATIONS

A/C	AIR CONDITIONING
ACT	ACOUSTICAL CEILING TILE
ADJ	ADJUSTABLE
AFJ	ABOVE FINISHED FLOOR
AMP	AMPERE
ARCH	ARCHITECT
BOH	BACK OF HOUSE
CAB	CABINET
CL	CENTER LINE
CLG	CEILING
CM	STARBUCKS
CON	CONSTRUCTION MANAGER
CTR	CENTER
CX	COMMISSIONING
CXA	COMMISSIONING AGENT
DEG	DEGREE
DET	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DM	STARBUCKS
DMG	DESIGN MANAGER
DN	DOWN
EA	EACH
EL	ELEVATION
EQ	EQUAL
EXIST	EXISTING
EXT	EXTERIOR
FF&E	FURNITURE, FIXTURE, AND EQUIPMENT
FLR	FLOOR
FOH	FRONT OF HOUSE
FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
FOIO	FURNISHED BY OWNER INSTALLED BY OWNER
FT	FOOT/FEET
G	GROUND
GC	GENERAL CONTRACTOR
GWB	GYP SUM WALLBOARD
HC	HOLLOW CORE
HDW	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
I.D.	INSIDE DIAMETER
LEED	LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN
LL	LANDLORD
LV	LOW VOLTAGE
MAX	MAXIMUM
MEP	"MECHANICAL, ELECTRICAL AND PLUMBING"
MFR	MANUFACTURER
MIN	MINIMUM
NIC	NOT IN CONTRACT
NL	NIGHT LIGHT
NTS	NOT TO SCALE
OC	ON CENTER
O.D.	OUTSIDE DIAMETER
PIR	PASSIVE INFRARED SENSOR
PLC	PLACE
R	RADIUS
REF	REFERENCE
REQ'D	REQUIRED
REV	REVISION
RND	ROUND
SB	STARBUCKS
SC	SOLID CORE
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
TEMP	TEMPORARY
TYP	TYPICAL
UC	UNDER COUNTER
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VIF	VERIFY IN FIELD
GC	GENERAL CONTRACTOR
LL	LANDLORD
SB	STARBUCKS

RESPONSIBILITY LEGEND

ARCHITECTURAL SYMBOL LEGEND

NORTH ARROW

GRAPHIC SCALE

DATUM POINT

EXTERIOR ELEVATION CALL-OUT

INTERIOR ELEVATION CALL-OUT

SECTION CALL-OUT

DETAIL CALL-OUT

SHEET NOTE CALL-OUT

ABOVE FINISH FLOOR HEIGHT TAG

FINISH FACE TO FINISH FACE DIMENSION

REVISION CLOUD

REVISION TAG

PAINT TAG

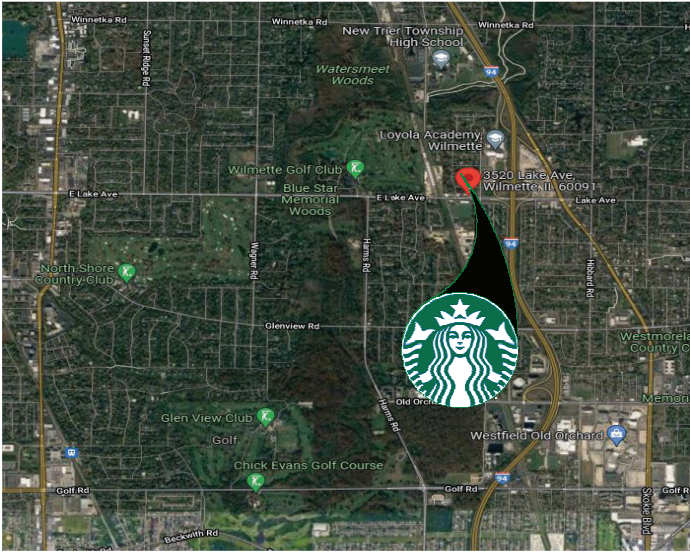
DESIGN ID TAG

DOOR TAG

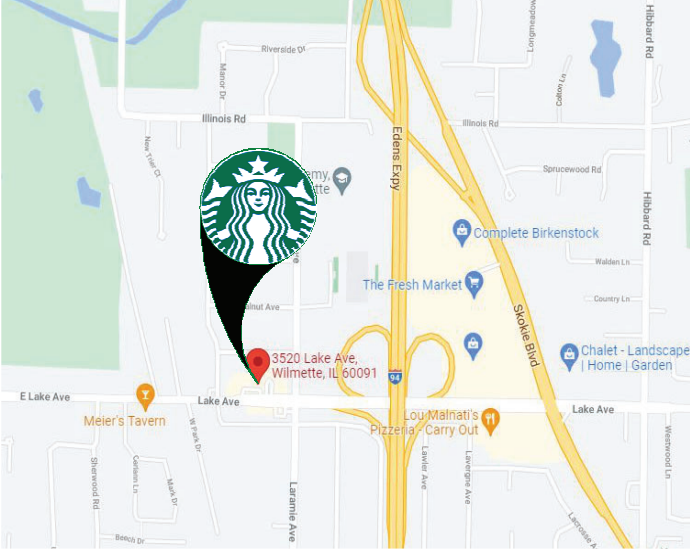
WINDOW TAG

INTERIOR WALL TAG

AERIAL MAP



VICINITY PLAN



PROJECT CONTACTS

MAILING ADDRESS:	STARBUCKS COFFEE COMPANY CHICAGO REGIONAL OFFICE 111 NORTH CANAL, SUITE 450 CHICAGO, IL 60606
STORE DESIGNER:	CHLOE EGBERT WD PARTNERS 7007 DISCOVERY BLVD DUBLIN, OH 43017 (937) 394-5184 CHLOE.EGBERT@WDPARTNERS.COM
CONSTRUCTION MANAGER:	CANDACE PERRY STARBUCKS COFFEE COMPANY 111 NORTH CANAL, SUITE 450 CHICAGO, IL 60606 (312) 560-3385 CPERRY@STARBUCKS.COM
LANDLORD:	ANNETTE WAX MKJ REAL ESTATE HOLDING CO 1622 WILLOW ROAD, SUITE 201 NORTHFIELD, IL 60093 (847) 919-4812 ANNETTE@USANFC.COM
ARCHITECT OF RECORD:	CHRISTOPHER K. DOERSCHLAG WD PARTNERS 7007 DISCOVERY BLVD. DUBLIN, OHIO 43017 (614) 634-7000 PHONE (614) 634-7777 FAX
ENGINEERS OF RECORD:	GREG HOLMAN (E) KARI ENGEN (M/P) WD PARTNERS 7007 DISCOVERY BLVD. DUBLIN, OHIO 43017 (614) 634-7000 PHONE (614) 634-7777 FAX

SCOPE OF WORK

THIS IS A COMMERCIAL TENANT IMPROVEMENT TO EXISTING BUILDING NEW WORK INCLUDES:

NEW WORKS INCLUDING:

- (N) CAFE FURNITURE & EXTERIOR FURNITURE.
- (N) ACT / GYP CEILING (SOFFIT)
- (N) FLOORING, FINISHES AND FURNISHINGS
- (N) PAINT, WALL TREATMENT & ARTWORK.
- (N) MERCH BAYS
- (N) PARTITION WALLS
- (N) LIGHTING SYSTEMS
- (N) PLUMBING FIXTURE, CASEWORK AND SPECIALTY EQUIPMENT
- ASSOCIATED HVAC, PLUMBING AND ELECTRICAL WORK
- SITE WORK - CLEARANCE BAR & EXTERIOR SCNCES

NO CHANGE IN GROSS SQ.FT.

SITE INFORMATION

CODE AUTHORITIES:	VILLAGE OF WILMETTE, IL
BUILDING CODE:	2006 INTERNATIONAL BUILDING CODE W/ AMENDMENTS
PLUMBING CODE:	2014 ILLINOIS STATE PLUMBING CODE W/ AMENDMENTS
MECHANICAL CODE:	2006 INTERNATIONAL MECHANICAL CODE W/ AMENDMENTS
ELECTRICAL CODE:	2005 NATIONAL ELECTRIC CODE W/ AMENDMENTS
ENERGY CODE:	2012 INTERNATIONAL ENERGY CONSERVATION CODE W/ AMENDMENTS
FIRE CODE:	2006 INTERNATIONAL FIRE CODE W/ AMENDMENTS
HEALTH CODE:	ILLINOIS DEPARTMENT OF PUBLIC HEALTH FOOD SERVICE SANITATION CODE
ACCESSIBILITY CODE:	ILLINOIS STATE ACCESSIBILITY CODE
DEFERRED SUBMITTAL:	SIGNAGE

GENERAL NOTES

- THE DRAWINGS AND PROJECT MANUAL TOGETHER CONSTITUTE THE CONTRACT DOCUMENTS FOR CONSTRUCTION. ALL GENERAL REQUIREMENTS ARE TO BE MET AND ALL MATERIALS, FINISHES AND SYSTEMS ARE TO BE INSTALLED AND PERFORM PER SPECIFICATIONS UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL VISIT THE SITE, REVIEW THE BUILDING SHELL DRAWINGS AS SUBMITTED BY THE LANDLORD OR STARBUCKS AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO CONSTRUCTION.
- GENERAL CONTRACTOR SHALL CONSULT WITH STARBUCKS CONSTRUCTION MANAGER TO RESOLVE ANY CHANGES, OMISSIONS OR PLAN DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES.
- GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES AND NOTIFY STARBUCKS CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL DIMENSIONS ARE TO THE FACE OF THE FINISHED SURFACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT. DO NOT SCALE DRAWINGS.
- GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING WALLS, FLOORS, CEILINGS, OR OTHER SURFACES IDENTIFIED TO REMAIN THAT MAY BECOME DAMAGED DURING THE COURSE OF THE WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS PRIOR TO INSTALLATION OF SUCH SYSTEMS.
- GENERAL CONTRACTOR SHALL RETAIN ONE SET OF PERMIT PLANS ON-SITE TO DOCUMENT ALL CHANGES MADE DURING CONSTRUCTION. THE RECORD DRAWINGS SHALL BE ISSUED TO THE OWNER AT PROJECT CLOSE-OUT AS DESCRIBED IN THE GENERAL REQUIREMENTS OF THE PROJECT MANUAL.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING DELIVERY OF MATERIALS FROM STARBUCKS CONTRACTED THIRD PARTY LOGISTICS DISTRIBUTION SERVICES AND VENDOR DIRECT SHIPMENTS. SEE THE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- RESPONSIBILITY FOR SUPPLY AND DELIVERY OF MATERIALS AND EQUIPMENT IS IDENTIFIED IN THE DRAWING SCHEDULE SHEETS UNDER THE COLUMN LABELED "RESPONSIBILITY".
- FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL", SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS AND OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATIONAL INSTALLATION, UNLESS OTHERWISE NOTED.
- ALL ITEM SUBSTITUTIONS MUST BE APPROVED BY THE STARBUCKS CONSTRUCTION MANAGER.

BUILDING INFORMATION

GROSS BUILDING AREA:	2,285 S.F.
NET AREA:	1,826 S.F.
CONSTRUCTION TYPE:	IIB - NONCOMBUSTIBLE
OCCUPANCY TYPE:	B BUSINESS
PROPOSED USE:	RETAIL SALES AND SERVICES
SPRINKLER PROTECTION:	NO
FIRE ALARM:	YES
TOTAL INTERIOR OCCUPANT LOAD:	41 (SEE G002 FOR MORE INFO)
TOTAL INTERIOR SEATING:	28
TOTAL EXTERIOR SEATING:	00

OCCUPANCY USE BREAKDOWN	
NAME	AREA
WORKROOM	456 SF
UNISEX RESTROOM	49 SF
UNISEX RESTROOM	59 SF
BAR	410 SF
CAFE SEATING	738 SF
RESTROOM VESTIBULE	41 SF
GRAND TOTAL	1753 SF

INDEX OF SHEETS

R - SHEET ISSUED FOR REFERENCE AND COORDINATION ONLY SEE TITLEBLOCK FOR REVISION ISSUE DATE(S)							
SHEET	SHEET TITLE	BID SET	PERMIT SET	REVISION 1	REVISION 2	REVISION 3	REVISION 4

GENERAL							
G001	GENERAL INFORMATION	X	X				
G002	LIFE SAFETY & ACCESSIBILITY PLAN	X	X				
G003	3D RENDERINGS	X	X				

DEMOLITION							
D100	DEMOLITION SITE PLAN	X	X				
D101	DEMOLITION FLOOR PLAN	X	X				
D102	DEMO REFLECTED CEILING PLAN	X	X				

ARCHITECTURAL							
A001	ARCHITECTURAL SITE PLAN	X	X				
A002	ARCHITECTURAL SITE DETAILS	X	X				
A101	BUILDING FLOOR PLAN	X	X				
A102	BUILDING FLOOR PENETRATION PLAN	X	X				
A102A	PENETRATION DETAILS	X	X				
A201	BUILDING EXTERIOR ELEVATIONS	X	X				

INTERIORS							
I101	FF & E PLAN	X	X				
I101.1	ENLARGED ENGINE PLAN	X	X				
I102	CASEWORK PLAN	X	X				
I102A	UPPER CASEWORK PLAN	X	X				
I103	REFLECTED CEILING PLAN	X	X				
I103.1	LIGHTING PLAN	X	X				
I103.2	REFLECTED CEILING DETAILS	X	X				
I104	FLOOR FINISH PLAN	X	X				
I104.1	FLOOR FINISH DETAILS	X	X				
I105	WALL FINISH PLAN	X	X				
I201	INTERIOR FINISH ELEVATIONS	X	X				
I202	INTERIOR FINISH ELEVATIONS	X	X				
I203	INTERIOR FINISH ELEVATIONS	X	X				
I204	INTERIOR FINISH ELEVATIONS	X	X				
I401	RESTROOM PLAN & ELEVATIONS	X	X				
I501	INTERIOR DETAILS	X	X				
I502	INTERIOR DETAILS	X	X				
I503	CUSTOM DETAILS	X	X				
I504	CUSTOM DETAILS	X	X				
I601	SCHEDULES	X	X				
I602	SCHEDULES	X	X				

ELECTRICAL							
E001	ELECTRICAL NOTES	X	X				
E101	POWER PLAN	X	X				
E102	LIGHTING PLAN	X	X				

MECHANICAL							
M001	MECHANICAL NOTES	X	X				
M101	MECHANICAL CEILING PLAN	X	X				

PLUMBING							
P001	PLUMBING NOTES	X	X				
P101	OVERALL PLUMBING PLAN	X	X				
P201	ENLARGED PLUMBING PLACEMENT PLAN	X	X				

11/15/2021 FINAL BID / PERMIT SET

© 2021 STARBUCKS COFFEE COMPANY

**STARBUCKS®**  
2401 UTAH AVENUE SOUTH  
SEATTLE, WASHINGTON 98134  
(206) 318-1575

THESE DRAWINGS AND THE PROJECT MANUAL ARE CONFIDENTIAL AND SHALL REMAIN THE SOLE PROPERTY OF STARBUCKS CORPORATION, WHICH IS THE OWNER OF THE COPYRIGHT IN THIS WORK. THEY SHALL NOT BE REPRODUCED (IN WHOLE OR IN PART), SHARED WITH THIRD PARTIES OR USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT WITHOUT THE PRIOR WRITTEN CONSENT OF STARBUCKS CORPORATION. THESE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO EXPRESS DESIGN INTENT FOR A PROTOTYPICAL STARBUCKS STORE (WHICH IS SUBJECT TO CHANGE AT ANYTIME) AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION NOR LIABILITY TO THE OTHER (EXCEPT STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.

STARBUCKS TEMPLATE VERSION: i2021.07.23

**ARCHITECT OF RECORD**

**wd** innovation at scale  
7007 DISCOVERY BLVD  
DUBLIN, OH 43017  
614.634.7000 T  
wdpartners.com

*Chris*  
11/15/2021  
REGISTERED ARCHITECT  
CHRISTOPHER K. DOERSCHLAG  
001015819  
STATE OF ILLINOIS

PROJECT NAME:  
**LAKE & LARAMIE - WILMETTE**

PROJECT ADDRESS:  
**3520 LAKE AVE., WILMETTE, IL 60091**

COUNTY:  
**COOK**

STORE #:  
10452

PROJECT #:  
32865-074

ISSUE DATE:  
11-15-2021

STORE DESIGNER:  
CHLOE EGBERT

LEED® AP:  
N/A

PRODUCTION DESIGNER:  
WD PARTNERS

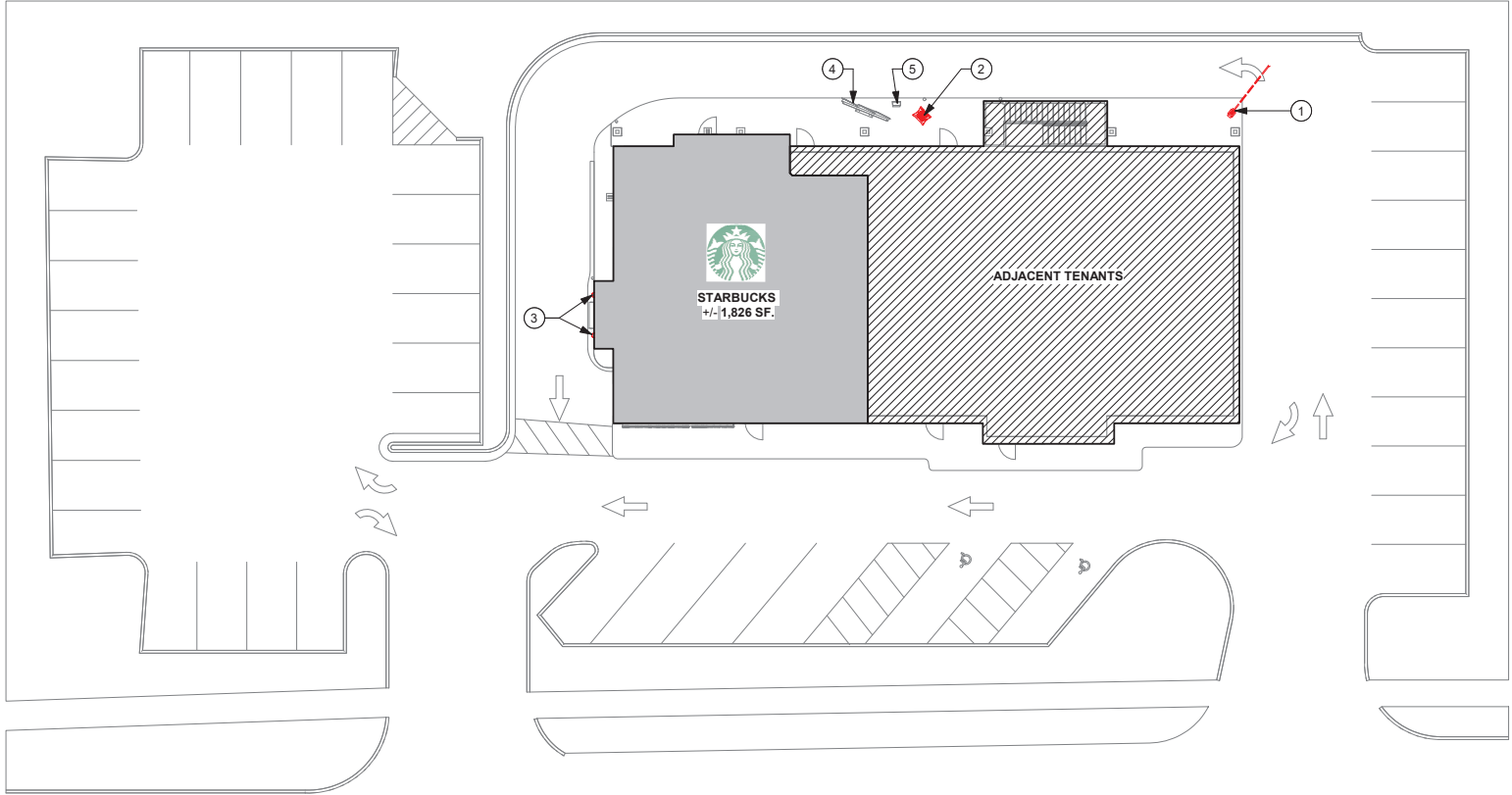
CHECKED BY:  
JOSH STEIMLING

REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTION

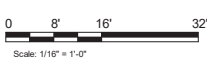
SHEET TITLE:  
**GENERAL INFORMATION**

SCALE: AS SHOWN

SHEET NUMBER:  
**G001**



1 DEMOLITION SITE PLAN  
Scale: 1/16" = 1'-0"



DEMOLITION SITE PLAN NOTES

- A. IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE INTEGRITY OF STRUCTURE OR PRECLUDE FOLLOWING DESIGN INTENT, GENERAL CONTRACTOR TO NOTIFY STARBUCKS CONSTRUCTION MANAGER IMMEDIATELY.
- B. GENERAL CONTRACTOR RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK.
- C. EXISTING WALLS TO REMAIN. PATCH AND REPAIR AS REQUIRED TO PROVIDE A SMOOTH, PAINT READY FINISH.
- D. DEMOLISH EXISTING WALLS AND DOORS AS DIRECTED.
- E. DEMOLISH EXISTING FLOOR FINISHES AS DIRECTED. REPAIR OR REPLACE SUB-FLOOR AS REQUIRED TO PROVIDE AN EVEN WALKING SURFACE/FINISH FLOOR CONDITION.
- F. REMOVE EXISTING EXTERIOR LIGHT FIXTURES, AS DIRECTED.
- G. LABEL ALL ITEMS TO BE PROPERLY STORED FOR RE-INSTALL.

SHEET NOTES

- 1. DEMOLISH EXISTING CLEARANCE BAR AND FOOTING AS INDICATED. PREPARE FOR NEW FOOTING.
- 2. DEMOLISH EXISTING STANDALONE SANDWICH BOARD AS INDICATED.
- 3. DEMOLISH EXISTING SCONCE LIGHTING, PATCH & REPAIR AS REQUIRED - PREP FOR INSTALLATION OF NEW D/T SCONCE LIGHTING AT SAME LOCATION.
- 4. EXISTING 5-PANEL MENU BOARD TO REMAIN.
- 5. EXISTING DT ORDER POINT TO REMAIN.



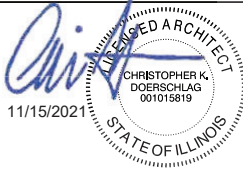
**STARBUCKS®**  
2401 UTAH AVENUE SOUTH  
SEATTLE, WASHINGTON 98134  
(206) 318-1575

THESE DRAWINGS AND THE PROJECT MANUAL ARE CONFIDENTIAL AND SHALL REMAIN THE SOLE PROPERTY OF STARBUCKS CORPORATION, WHICH IS THE OWNER OF THE COPYRIGHT IN THIS WORK. THEY SHALL NOT BE REPRODUCED (IN WHOLE OR IN PART), SHARED WITH THIRD PARTIES OR USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT WITHOUT THE PRIOR WRITTEN CONSENT OF STARBUCKS CORPORATION. THESE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO EXPRESS DESIGN INTENT FOR A PROTOTYPICAL STARBUCKS STORE (WHICH IS SUBJECT TO CHANGE AT ANYTIME) AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION NOR LIABILITY TO THE OTHER (EXCEPT STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.

STARBUCKS TEMPLATE VERSION: i2021.07.23

ARCHITECT OF RECORD

**wd** innovation at scale  
7007 DISCOVERY BLVD  
DUBLIN, OH 43017  
614.634.7000 T  
wdpartners.com



PROJECT NAME:  
**LAKE & LARAMIE - WILMETTE**

PROJECT ADDRESS:  
**3520 LAKE AVE., WILMETTE, IL 60091**

COUNTY:  
**COOK**

STORE #: 10452  
PROJECT #: 32865-074  
ISSUE DATE: 11-15-2021  
STORE DESIGNER: CHLOE EGBERT  
LEED® AP: N/A  
PRODUCTION DESIGNER: WD PARTNERS  
CHECKED BY: JOSH STEIMLING

REVISION SCHEDULE			
REV/	DATE	BY	DESCRIPTION

SHEET TITLE:  
**DEMOLITION SITE PLAN**

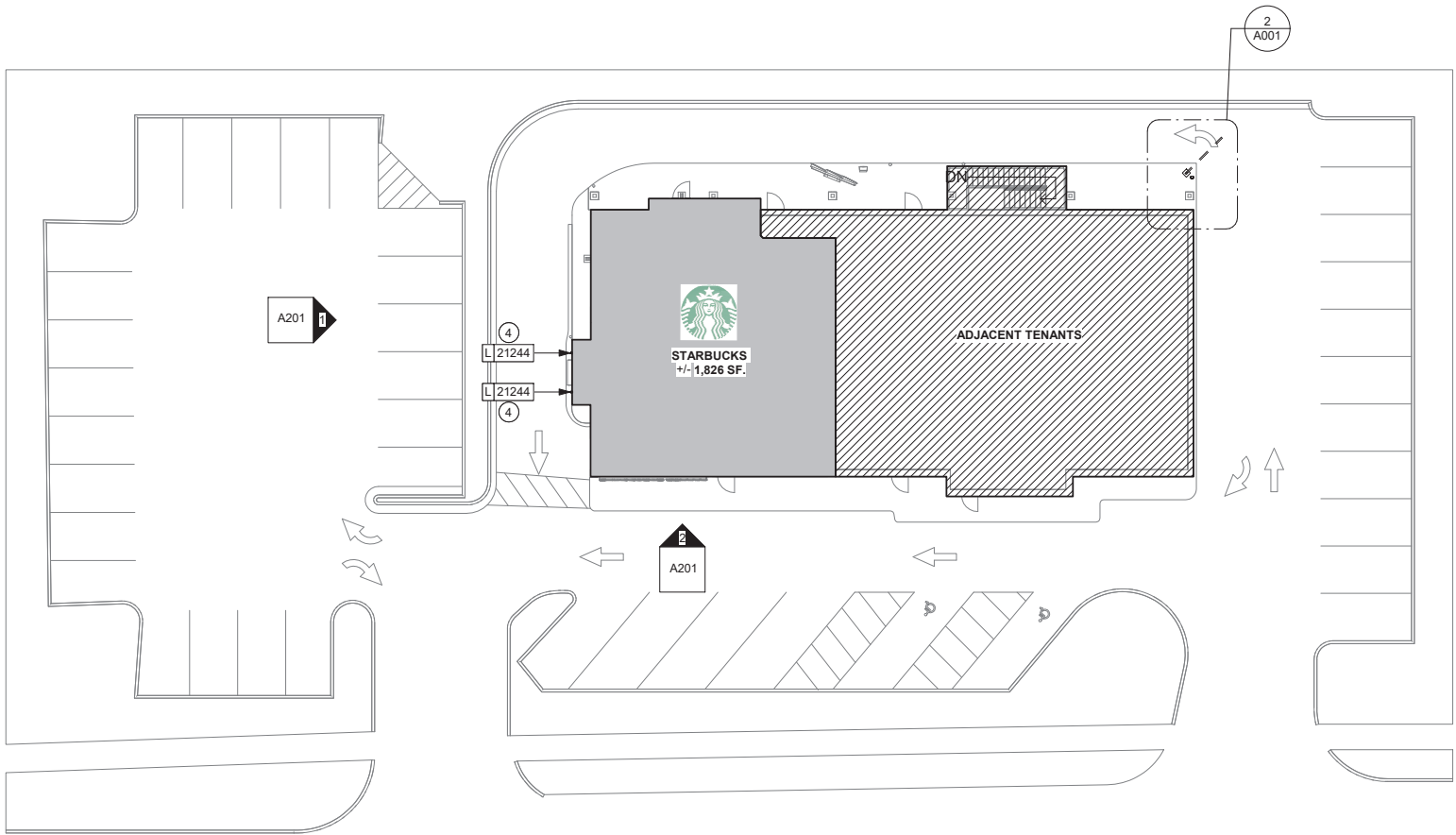
SCALE: AS SHOWN

SHEET NUMBER:  
**D100**

11/15/2021 FINAL BID / PERMIT SET



SITE SCHEDULE - "Y"					
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
OTHER					
14103	1	BOLLARD NONILLUMINATED SQUARE - FLAT BLACK MT0028	SB	GC	
PLANTER					
21049	3	PLANTER - DUO LARGE - OYSTER WHITE MT0045	SB	GC	
21050	1	PLANTER - DUO SMALL - OYSTER WHITE MT0045	SB	GC	
21053	4	PLANTER - DUO STAND - FLAT BLACK MT0028	SB	GC	
X1100	3	RUBBER PLANT : LOW HEIGHT	GC	GC	GC TO PROVIDE & INSTALL. LOWE'S ITEM #3795947.
X1101	1	FIDDLE LEAF FIG : MEDIUM	GC	GC	GC TO PROVIDE AND INSTALL. LOWE'S ITEM #LW7668.
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
SIGNAGE - DRIVE THRU					
22544	1	SIGN - DT CLEARANCE BAR SQUARE FRAME FREESTANDING - BLACK AND DARK GREEN	SB	GC	FOOTING BY GC. SIGNAGE UNDER SEPARATE PERMIT AND INSTALLED BY SIGN VENDOR.
SIGNAGE - OTHER					
21163	1	SIGN - MOBILE ORDER PICK UP ILLUMINATED BLADE MOUNT	SB	GC	



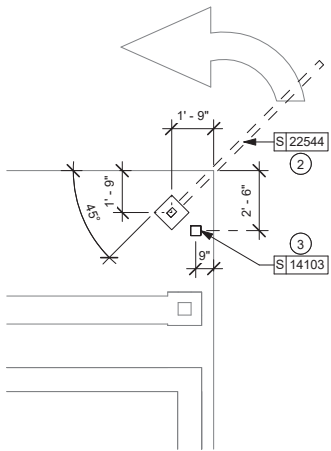
1 ARCHITECTURAL SITE PLAN  
Scale: 1/16" = 1'-0"

### KEYED NOTES

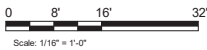
- EXISTING SITE TO REMAIN, U.N.O.
- NEW CLEARANCE BAR, UNDER SEPARATE PERMIT. VENDOR TO COORDINATE WITH GC FOR PROPER INSTALLATION. FOOTING BY GC.
- NEW BOLLARD, UNDER SEPARATE PERMIT. VENDOR TO COORDINATE WITH GC FOR PROPER INSTALLATION. FOOTING BY GC.
- NEW D/T SCENCE LIGHT AS INDICATED. SEE EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS.

### GENERAL NOTES

- REFER TO EXTERIOR ELEVATIONS ON SHEET A201 FOR BUILDING SIGNAGE LOCATION AND DESIGN ID. REFER TO ELECTRICAL PLANS FOR ELECTRICAL REQUIREMENTS.
- LANDSCAPING TO BE PROVIDED PER ZONING CODE AND SUSTAINABILITY REQUIREMENTS.
- DRIVE-THRU EQUIPMENT INCLUDING VEHICLE DETECTION LOOP, WIRELESS COMMUNICATION AND MONITORS SHALL BE COORDINATED BY STARBUCKS CONSTRUCTION MANAGER. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- PROVIDE 6" (150MM) THICK CONCRETE PAVING THE LENGTH OF THE DRIVE-THRU LANE, EXTENT TO INCLUDE DRIVE-THRU ENTRY POINT THROUGH WINDOW STANDING PAD.
- GENERAL CONTRACTOR TO APPLY CONCRETE SEALER TO ALL EXTERIOR CONCRETE PATIO AND WALKWAY SURFACES.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
- PROVIDE DETECTABLE WARNING (IF APPLICABLE PER LOCAL CODE) AT TRANSITION FROM SIDEWALK TO DRIVE AISLE.
- ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.
- REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL WORK.
- SCRAPE AND REPAINT ALL EXISTING PAINTED SITE FEATURES, INCLUDING, BUT NOT LIMITED TO CURBS, BOLLARDS, RAILINGS AND SITE LIGHTING BASES.
- SEE SHEET A002 FOR ARCHITECTURAL SITE DETAILS.



2 ENLARGED CLEARANCE BAR  
Scale: 1/4" = 1'-0"



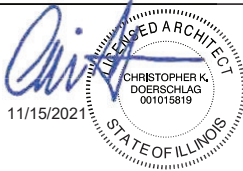
**STARBUCKS®**  
2401 UTAH AVENUE SOUTH  
SEATTLE, WASHINGTON 98134  
(206) 318-1575

THESE DRAWINGS AND THE PROJECT MANUAL ARE CONFIDENTIAL AND SHALL REMAIN THE SOLE PROPERTY OF STARBUCKS CORPORATION, WHICH IS THE OWNER OF THE COPYRIGHT IN THIS WORK. THEY SHALL NOT BE REPRODUCED (IN WHOLE OR IN PART), SHARED WITH THIRD PARTIES OR USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT WITHOUT THE PRIOR WRITTEN CONSENT OF STARBUCKS CORPORATION. THESE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO EXPRESS DESIGN INTENT FOR A PROTOTYPICAL STARBUCKS STORE (WHICH IS SUBJECT TO CHANGE AT ANYTIME) AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION NOR LIABILITY TO THE OTHER (EXCEPT STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.

STARBUCKS TEMPLATE VERSION: i2021.07.23

#### ARCHITECT OF RECORD

**wd** innovation at scale  
7007 DISCOVERY BLVD  
DUBLIN, OH 43017  
614.634.7000 T  
wdpartners.com



PROJECT NAME:  
**LAKE & LARAMIE - WILMETTE**

PROJECT ADDRESS:  
**3520 LAKE AVE., WILMETTE, IL 60091**

COUNTY:  
**COOK**

STORE #: 10452  
PROJECT #: 32865-074  
ISSUE DATE: 11-15-2021  
STORE DESIGNER: CHLOE EGBERT  
LEED® AP: N/A  
PRODUCTION DESIGNER: WD PARTNERS  
CHECKED BY: JOSH STEIMLING

#### REVISION SCHEDULE

REV	DATE	BY	DESCRIPTION

SHEET TITLE:  
**ARCHITECTURAL SITE PLAN**

SCALE: AS SHOWN

SHEET NUMBER:  
**A001**

11/15/2021 FINAL BID / PERMIT SET



WALL TYPE LEGEND

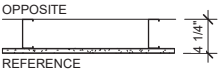
NOTE: FOR FULL HEIGHT WALLS TO 6" ABOVE CEILING, PROVIDE 45 DEGREES METAL STUD REINFORCEMENT @ 48" (1219 MM) O.C. ABOVE CEILING LINE TO STRUCTURE ABOVE.

REFER TO WALL LEGEND - FLOOR PLAN FOR ADDITIONAL INFORMATION.

- 1 20 GA 3-5/8" (86 MM) METAL STUDS 16" (406MM) O.C. WITH 5/8" (16 MM) TYPE "X" GWB, U.O.N., ON BOTH SIDES. DRYWALL SCREWS @ 12" (305 MM) O.C.



- 2 NEW PARTITION WALL - SHEATHING ON ONE SIDE  
20 GA 3-5/8" (86 MM) METAL STUDS 16" (406 MM) O.C. WITH 5/8" (16 MM) TYPE "X" GWB, U.O.N., ON ONE SIDE. DRYWALL SCREWS @ 12" (305 MM) O.C.

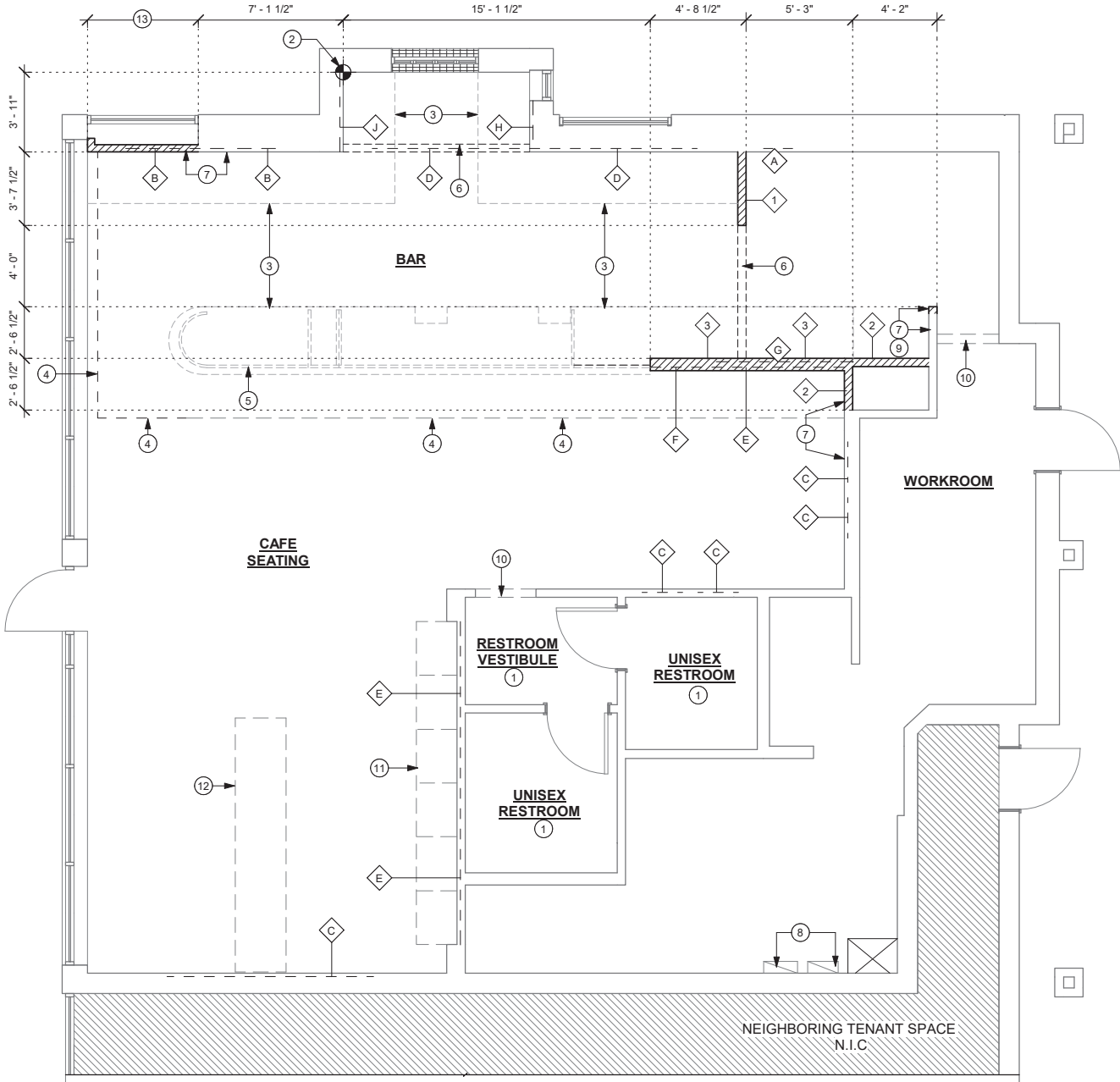


KEY

OPPOSITE

REFERENCE

NOTE: PROVIDE 5/8" MOISTURE RESISTANCE GYPSUM BOARD AT ALL WET WALLS. PROVIDE 5/8" CEMENTATIOUS OR HARDIE BACKER BOARD OR EQUAL AT ALL WALLS WITH TILE.



1 FLOOR PLAN

Scale: 1/4" = 1'-0"

WALL BLOCKING KEY

SYMBOL	ITEM	WEIGHT	HEIGHT A.F.F.	APPROX. WIDTH
A	WORKROOM HAND SINK	128 LBS (58 KG)	36" TO 40" (915MM TO 1015MM)	30" (760MM) BEHIND SINK
B	UPPER CBE SHELVING		BLOCKING SPECIFICATION FOR CBE METAL SHELVES. REFER TO VENDOR'S SPECIFICATION AND DETAILS.	
C	ALL ARTWORK, FIXTURES, ACCESSORIES AND CASEWORK FABRICATIONS NOT OTHERWISE NOTED	TBD BY VENDOR (VARIES)	GC TO PROVIDE WALL BLOCKING AS REQUIRED FOR ALL ITEMS FOR A COMPLETE AND SECURE INSTALLATION. EXTEND BLOCKING 8" (205MM) BEYOND ON EACH SIDE OF EACH ITEM.	
D	FUTURE DIGITAL MENU BOARDS	TBD BY VENDOR (VARIES)	GC TO PROVIDE WALL BLOCKING AS REQUIRED FOR ALL ITEMS FOR COMPLETE AND SECURE INSTALLATION. REFER TO VENDOR'S SPECIFICATION AND DETAILS.	
E	WOOD CLADDING	TBD BY VENDOR (VARIES)	GC TO PROVIDE WALL BLOCKING AS REQUIRED FOR ALL ITEMS FOR COMPLETE AND SECURE INSTALLATION. REFER TO SHEET I-502 FOR DETAILS.	
F	MERCH BAY	TBD BY VENDOR (VARIES)	GC TO PROVIDE WALL BLOCKING AS REQUIRED FOR ALL ITEMS FOR COMPLETE AND SECURE INSTALLATION. REFER TO SHEET I-502 FOR DETAILS.	
G	UPPER BREW SHELVING	TBD BY VENDOR (VARIES)	GC TO PROVIDE WALL BLOCKING AS REQUIRED FOR ALL ITEMS FOR COMPLETE AND SECURE INSTALLATION. REFER TO SHEET I-502 FOR DETAILS.	
H	DT POS UPPER CUBBY	TBD BY VENDOR (VARIES)	GC TO PROVIDE WALL BLOCKING AS REQUIRED FOR ALL ITEMS FOR COMPLETE AND SECURE INSTALLATION. REFER TO SHEET I-502 FOR DETAILS.	
J	UPPER MCS SHELVING	TBD BY VENDOR (VARIES)	GC TO PROVIDE WALL BLOCKING AS REQUIRED FOR ALL ITEMS FOR COMPLETE AND SECURE INSTALLATION. REFER TO SHEET I-502 FOR DETAILS.	

GENERAL NOTES

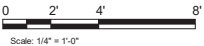
- A. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY STARBUCKS CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT.
- B. GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING, OR EQUIVALENT TO SUPPORT ANY WALL ATTACHMENT AND/OR SIGNAGE.
- C. IF EXISTING EXTERIOR ENTRANCE THRESHOLD EXCEEDS MINIMUM BARRIER FREE PROVISION OF THE CODE, REMOVE AND REPLACE WITH ACCESSIBLE THRESHOLD. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS TO BE BEVELED WITH A SLOPE NO GREATER THAN 1:12.
- D. ALL DIMENSIONS ARE TO FINISHED FACE UNLESS SHOWN OR NOTED OTHERWISE.
- E. INSTALL MOISTURE RESISTANT GREEN BOARD ON BACKBAR WALL PER PROJECT MANUAL.
- F. ALL DOORS SHALL BE 32" (815MM) MINIMUM CLEAR OPENING WHEN OPENED TO 90 DEGREE POSITION UNLESS OTHERWISE NOTED.
- G. SEE SHEET A601 FOR EXTERIOR DOOR AND WINDOW SCHEDULES.
- H. STARBUCKS VENDOR TO PROVIDE DOOR HARDWARE COMPONENTS AND GC TO INSTALL.
- I. VERIFY ALL EXISTING DOORS, HARDWARE AND FRAMES MEET STARBUCKS AND/OR CODE REQUIREMENTS.
- J. PROVIDE FIRE EXTINGUISHERS AS NOTED ON THE APPROVED PLANS FROM THE CITY.
- K. SEE STRUCTURAL FOR KNEE WALL BRACING.
- L. SEE SHEET A501 FOR BUILDING DETAILS.
- M. REFER TO SHEET I104 FOR FLOOR FINISHES.

KEYED NOTES

1. EXISTING TO REMAIN (ETR) UNO.
2. DIMENSION START POINT.
3. DASHED LINE REPRESENTS BAR CASEWORK .
4. EXISTING / NEW HEADER AS INDICATED (ABOVE NEW SOFFIT).
5. EXTENTS OF CASEWORK DIEWALL SHOWN DASHED FOR CLARITY.
6. NEW HEADER AS INDICATED.
7. ALIGN FINISHED FACE OF WALL TO EXISTING FINISH.
8. LOCATION OF EXISTING ELECTRICAL PANELS.
9. NEW WALL THICKNESS TO MATCH EXISTING WALL THICKNESS, REFER TO STRUCTURAL SHEETS.
10. EXISTING HEADER TO REMAIN.
11. EXISTING BANQUETTE OUTLINE SHOWN DASHED FOR REFERENCE.
12. EXISTING COMMUNITY TABLE SHOWN DASHED FOR REFERENCE.
13. NEW BLACKOUT WINDOW FILM AT ENTIRE HEIGHT OF WINDOW. DID: 19459

GENERAL LEGEND

- NEW FULL HEIGHT WALL
- EXISTING WALL
- WALL BLOCKING CALL-OUT
- EXISTING HEADER
- NEW HEADER



**STARBUCKS®**  
2401 UTAH AVENUE SOUTH  
SEATTLE, WASHINGTON 98134  
(206) 318-1575

THESE DRAWINGS AND THE PROJECT MANUAL ARE CONFIDENTIAL AND SHALL REMAIN THE SOLE PROPERTY OF STARBUCKS CORPORATION, WHICH IS THE OWNER OF THE COPYRIGHT IN THIS WORK. THEY SHALL NOT BE REPRODUCED (IN WHOLE OR IN PART), SHARED WITH THIRD PARTIES OR USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT WITHOUT THE PRIOR WRITTEN CONSENT OF STARBUCKS CORPORATION. THESE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO EXPRESS DESIGN INTENT FOR A PROTOTYPICAL STARBUCKS STORE (WHICH IS SUBJECT TO CHANGE AT ANY TIME) AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION NOR LIABILITY TO THE OTHER (EXCEPT STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.

STARBUCKS TEMPLATE VERSION: i2021.07.23

ARCHITECT OF RECORD

**wd** innovation at scale  
7007 DISCOVERY BLVD  
DUBLIN, OH 43017  
614.634.7000 T  
wdpartners.com



PROJECT NAME:  
**LAKE & LARAMIE - WILMETTE**

PROJECT ADDRESS:  
**3520 LAKE AVE., WILMETTE, IL 60091**

COUNTY:  
**COOK**

STORE #: 10452  
PROJECT #: 32865-074  
ISSUE DATE: 11-15-2021  
STORE DESIGNER: CHLOE EGBERT  
LEED@AP: N/A  
PRODUCTION DESIGNER: WD PARTNERS  
CHECKED BY: JOSH STEIMLING

REVISION SCHEDULE

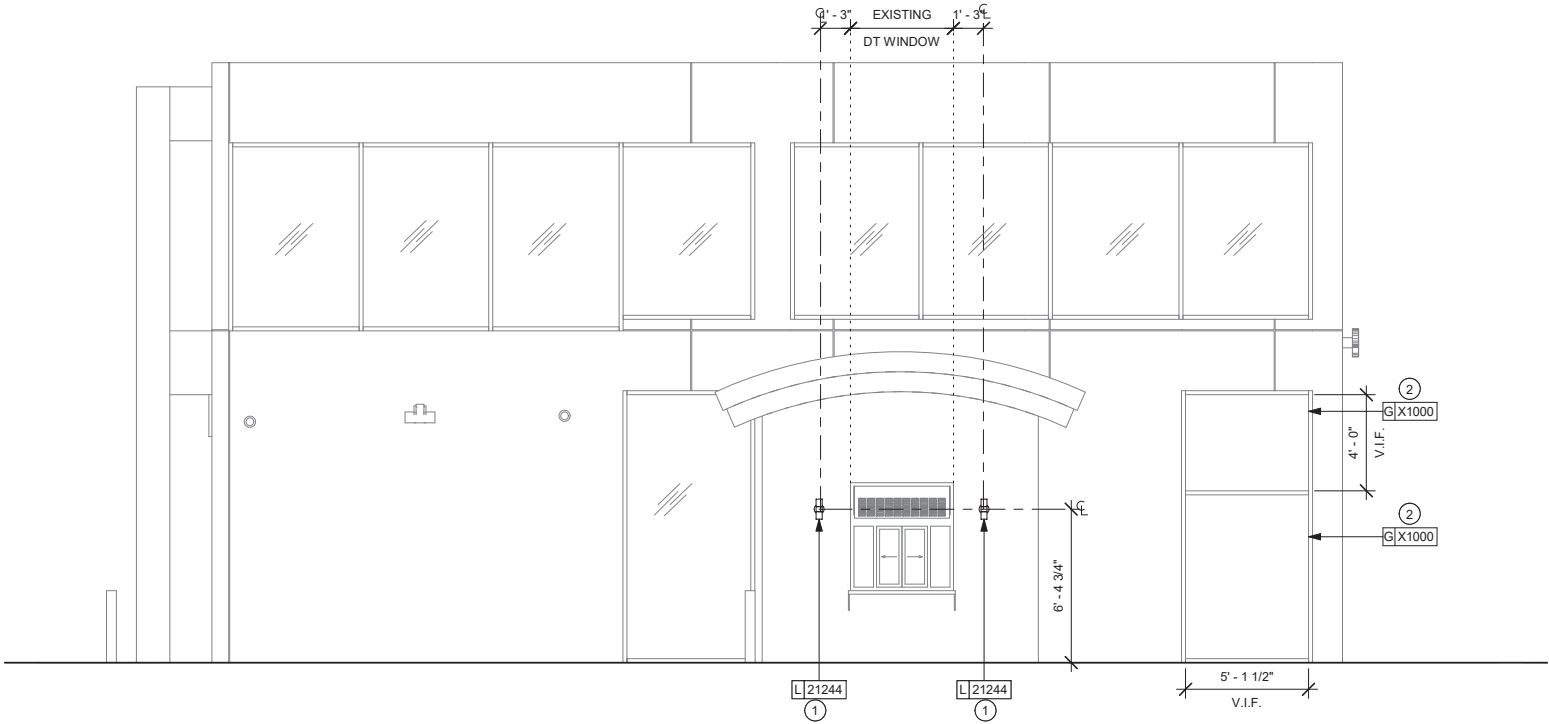
REV	DATE	BY	DESCRIPTION

SHEET TITLE:  
**BUILDING FLOOR PLAN**

SCALE: AS SHOWN

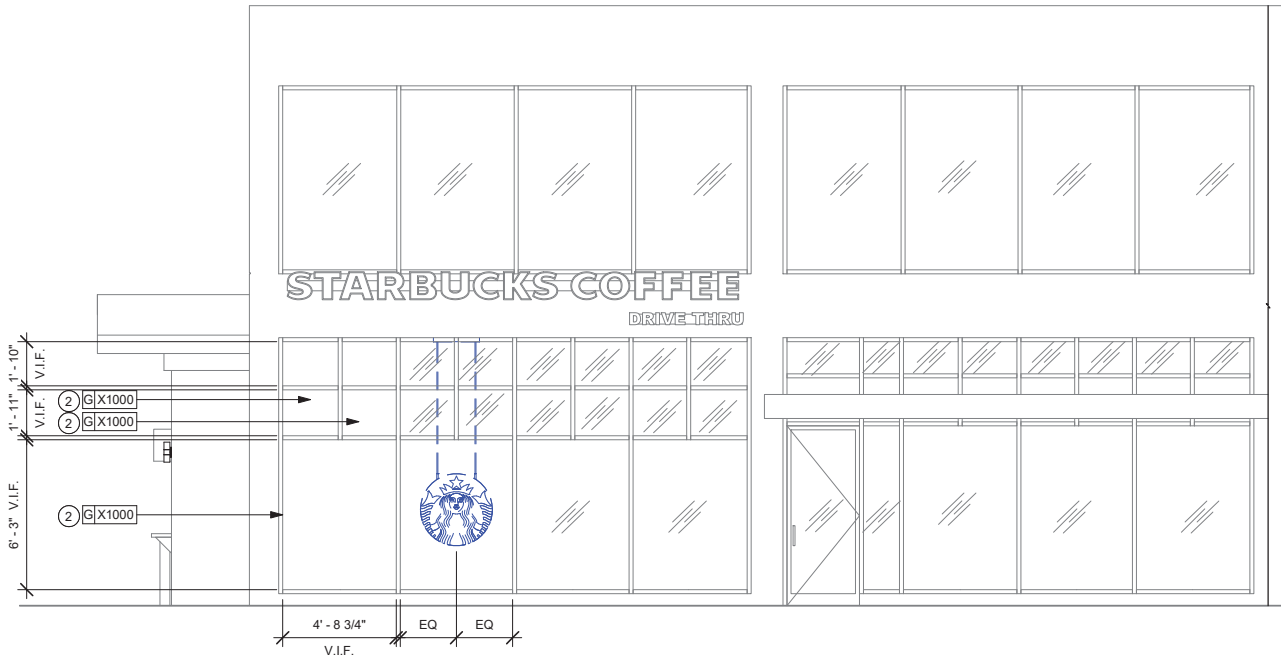
SHEET NUMBER:  
**A101**

11 / 15 / 2021 FINAL BID / PERMIT SET



1 ELEVATION @ DT WINDOW

Scale: 1/4" = 1'-0"



2 ELEVATION @ ENTRANCE DOOR

Scale: 1/4" = 1'-0"

### RESPONSIBILITY LEGEND

GC GENERAL CONTRACTOR  
LL LANDLORD  
SB STARBUCKS

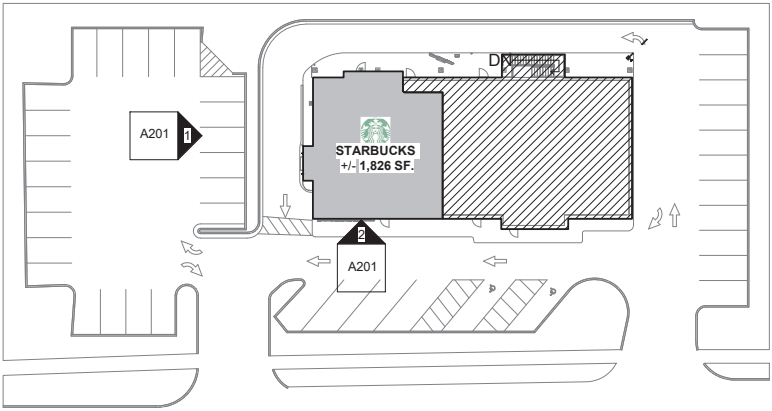
### GENERAL NOTES

- GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING OR EQUIVALENT TO SUPPORT SIGNAGE.
- SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO THE STARBUCKS DESIGNER FOR APPROVAL.
- SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT.
- SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH ARCHITECTURAL DRAWINGS.
- GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.

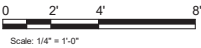
### KEYED NOTES

- NEW DT WINDOW SCONES (2) AS INDICATED.
- NEW FILM AT EXISTING ENGINE SIDE WINDOW.
- RELOCATED SUSPENDED LOGO DISK.

EXTERIOR GRAPHICS SCHEDULE - "G"					
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
GRAPHICS - OTHER					
X1000	1	WINDOW FILM - FSOLYX - SXWF-BO BLACKOUT (4'-8 3/4" X 6'-3") V.I.F.	SB	GC	APPLIED TO THE EXTERIOR SIDE OF THE WINDOW.
X1000	1	WINDOW FILM - SOLYX - SXWF-BO BLACKOUT (2'-3 3/4" X 1'-11") V.I.F.	SB	GC	APPLIED TO THE EXTERIOR SIDE OF THE WINDOW.
X1000	1	WINDOW FILM - SOLYX - SXWF-BO BLACKOUT (2'-3" X 1'-11") V.I.F.	SB	GC	APPLIED TO THE EXTERIOR SIDE OF THE WINDOW.
X1000	1	WINDOW FILM - SOLYX - SXWF-BO BLACKOUT (5'-1 1/2" X 4'-0") V.I.F.	SB	GC	APPLIED TO THE EXTERIOR SIDE OF THE WINDOW.
X1000	1	WINDOW FILM - SOLYX - SXWF-BO BLACKOUT (5'-1 1/2" X 6'-10") V.I.F.	SB	GC	APPLIED TO THE EXTERIOR SIDE OF THE WINDOW.



SITE PLAN (KEY PLAN)



© 2021 STARBUCKS COFFEE COMPANY

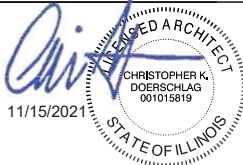
**STARBUCKS®**  
2401 UTAH AVENUE SOUTH  
SEATTLE, WASHINGTON 98134  
(206) 318-1575

THESE DRAWINGS AND THE PROJECT MANUAL ARE CONFIDENTIAL AND SHALL REMAIN THE SOLE PROPERTY OF STARBUCKS CORPORATION, WHICH IS THE OWNER OF THE COPYRIGHT IN THIS WORK. THEY SHALL NOT BE REPRODUCED (IN WHOLE OR IN PART), SHARED WITH THIRD PARTIES OR USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT WITHOUT THE PRIOR WRITTEN CONSENT OF STARBUCKS CORPORATION. THESE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO EXPRESS DESIGN INTENT FOR A PROTOTYPICAL STARBUCKS STORE (WHICH IS SUBJECT TO CHANGE AT ANYTIME) AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION NOR LIABILITY TO THE OTHER (EXCEPT STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.

STARBUCKS TEMPLATE VERSION: i2021.07.23

### ARCHITECT OF RECORD

**wd** innovation at scale  
7007 DISCOVERY BLVD  
DUBLIN, OH 43017  
614.634.7000 T  
wdpartners.com



PROJECT NAME:  
**LAKE & LARAMIE - WILMETTE**

PROJECT ADDRESS:  
**3520 LAKE AVE., WILMETTE, IL 60091**

COUNTY:  
**COOK**

STORE #: 10452  
PROJECT #: 32865-074  
ISSUE DATE: 11-15-2021  
STORE DESIGNER: CHLOE EGBERT  
LEED® AP: N/A  
PRODUCTION DESIGNER: WD PARTNERS  
CHECKED BY: JOSH STEIMLING

### REVISION SCHEDULE

REV	DATE	BY	DESCRIPTION

SHEET TITLE:  
**BUILDING EXTERIOR ELEVATIONS**  
SCALE: AS SHOWN

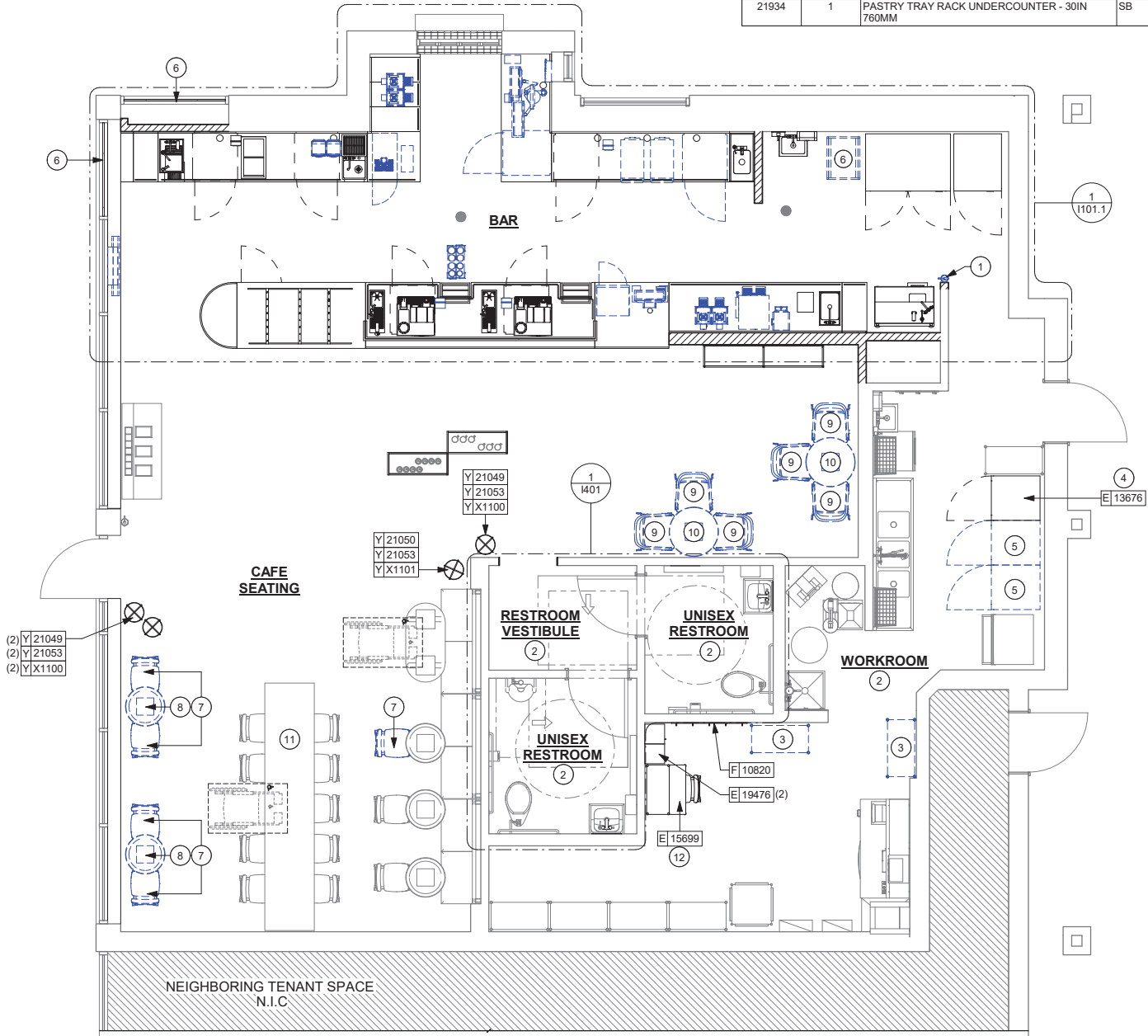
SHEET NUMBER:  
**A201**

11/15/2021 FINAL BID / PERMIT SET

FURNITURE SCHEDULE - "F"					
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
MIRROR					
10342	2	MIRROR - RESTROOM - 18X36IN 455X915MM	SB	GC	
OTHER					
10820	1	COAT HOOK STRIP - 46IN 1170MM	SB	GC	

SITE SCHEDULE - "Y"					
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
OTHER					
14103	1	BOLLARD NONILLUMINATED SQUARE - FLAT BLACK MT0028	SB	GC	
PLANTER					
21049	3	PLANTER - DUO LARGE - OYSTER WHITE MT0045	SB	GC	
21050	1	PLANTER - DUO SMALL - OYSTER WHITE MT0045	SB	GC	
21053	4	PLANTER - DUO STAND - FLAT BLACK MT0028	SB	GC	
X1100	3	RUBBER PLANT : LOW HEIGHT	GC	GC	GC TO PROVIDE & INSTALL. LOWE'S ITEM #3795947.
X1101	1	FIDDLE LEAF FIG : MEDIUM HEIGHT	GC	GC	GC TO PROVIDE AND INSTALL. LOWE'S ITEM #LW7668.

SPECIALTY EQUIPMENT SCHEDULE - "E"					
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
COOLING					
10110	1	FRIDGE REACH IN 1 DOOR RH - 29IN 735MM	SB	GC	
10267	5	FRIDGE UNDERCOUNTER 1 DOOR - 27IN 685MM	SB	GC	
11083	1	FRIDGE REACH IN 2 DOOR - 51X35IN 1295X890MM	SB	GC	
12618	1	FRIDGE UNDERCOUNTER 1 DOOR WITH SHELF - 27IN 685MM	SB	GC	
13676	1	FREEZER REACH IN 1 DOOR RH - 27IN 685MM	SB	GC	
EQUIPMENT					
17564	1	BLENDER PITCHER RINSER WITH SENSOR	SB	GC	
19742	2	ESPRESSO MACHINE MASTRENA II	SB	GC	
ICE					
10344	1	ICE - BIN DROP IN 90LB 40KG	SB	GC	
19278	2	ICE - BIN DROP IN 45LB 20KG HORIZONTAL	SB	GC	
OTHER					
10947	1	SOAP DISPENSER WALL MOUNTED	SB	GC	
10977	1	PAPER TOWEL DISPENSER FULL SIZE	SB	GC	
11115	1	SOAP DISPENSER SINK MOUNTED	SB	GC	
11815	2	CORNER GUARD - 1.25IN 30MM - HOT ROLLED STEEL MT0011	SB	GC	
STORAGE					
15699	1	PARTNER WORK CENTER	SB	GC	
19476	2	5 COMP LOCKER - 12IN 305MM	SB	GC	
21934	1	PASTRY TRAY RACK UNDERCOUNTER - 30IN 760MM	SB	GC	



1 FURNITURE, FIXTURES AND EQUIPMENT PLAN  
Scale: 1/4" = 1'-0"

## GENERAL NOTES

- GENERAL CONTRACTOR TO SCHEDULE WITH LOCAL REFRIGERATION CONTRACTOR TO CONDUCT INITIAL FOOD CASE START-UP AND TESTING. FOR LIST OF APPROVED START UP CONTRACTORS, CONTACT PROJECT CONSTRUCTION REPRESENTATIVE.
- THE SITE IS SERVED BY THE MUNICIPAL WATER AND SEWER SYSTEM UNLESS OTHERWISE NOTED.
- ALL FOOD STORAGE SHALL BE 6" (150mm) A.F.F.
- ALL WOOD SURFACES (DOORS, TRIM, SHELVES, CABINETS) SHALL BE SEALED.
- ALL EQUIPMENT AND INSTALLATION WILL MEET NATIONAL SANITATION FOUNDATION STANDARDS OR EQUIVALENT.
- ALL EQUIPMENT AND CABINETS WILL BE FLUSH MOUNTED TO COUNTERS, WALLS OR FLOORS, OR BE RAISED TO ALLOW FOR CLEANING.
- CONFIRM ALL NECESSARY EQUIPMENT CLEARANCES PER PRODUCT CUT SHEET (E.G. ICE MACHINE).
- FOR LOCATION OF COUNTERTOP EQUIPMENT, REFER TO CASEWORK ELECTRICAL DETAILS.
- EQUIPMENT UNITS SHALL CONTAIN NO EXPOSED THREADS, EMBELLISHMENTS OR OVERHANGING EDGES THAT SERVE AS PLACES FOR ACCUMULATION OF DUST, DIRT AND DEBRIS.
- WARMING OVEN(S) SHOWN FOR PERMITTING PURPOSES. INSTALLATION AT STORE OPENING TO BE VERIFIED BY STARBUCKS CONSTRUCTION REPRESENTATIVE.
- EACH HAND WASHING SINK WILL HAVE A SINGLE SERVICE TOWEL AND SOAP DISPENSER, AND ALL HAND SINKS TO HAVE A COMBINATION FAUCET OR PREMIXING FAUCET.
- FOR PLUMBING FIXTURES, REFER TO THE PLUMBING DESIGN PLAN. FOR DATA DEVICE SCHEDULE, REFER TO THE ELECTRICAL DESIGN PLAN.
- SEE ELEVATIONS FOR DISTRIBUTION OF CUP DISPENSERS.
- PROVIDE FIRE EXTINGUISHERS AS NOTED ON THE APPROVED PLANS FROM THE LOCAL JURISDICTION.

## KEYED NOTES

- RELOCATED EXISTING FIRE EXTINGUISHER.
- EXISTING TO REMAIN (ETR).
- RELOCATED METRO SHELF (2)
- INSTALL NEW 1-DR REACH-IN FREEZER RH (1).
- RELOCATED 1-DR REACH-IN FREEZER - RH (2)
- NEW WINDOW FILM INSTALLED ON EXTERIOR ON EXISTING ENGINE WINDOWS, REFER TO EXTERIOR ELEVATIONS.
- RELOCATED CAFE CHAIR (5)
- RELOCATED CAFE TABLE AND BASE (2)
- RELOCATED CAFE - LOUNGE CHAIR (6)
- RELOCATED CAFE- LOUNGE TABLE AND BASE (2)
- EXISTING FURNITURE (BANQUETTE & COMMUNITY TABLE TO REMAIN.
- STORE TO PURCHASE CHAIR FOR PARTNER DESK.

## RESPONSIBILITY LEGEND

GC GENERAL CONTRACTOR  
LL LANDLORD  
SB STARBUCKS



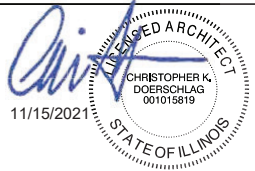
**STARBUCKS®**  
2401 UTAH AVENUE SOUTH  
SEATTLE, WASHINGTON 98134  
(206) 318-1575

THESE DRAWINGS AND THE PROJECT MANUAL ARE CONFIDENTIAL AND SHALL REMAIN THE SOLE PROPERTY OF STARBUCKS CORPORATION, WHICH IS THE OWNER OF THE COPYRIGHT IN THIS WORK. THEY SHALL NOT BE REPRODUCED (IN WHOLE OR IN PART), SHARED WITH THIRD PARTIES OR USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT WITHOUT THE PRIOR WRITTEN CONSENT OF STARBUCKS CORPORATION. THESE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO EXPRESS DESIGN INTENT FOR A PROTOTYPICAL STARBUCKS STORE (WHICH IS SUBJECT TO CHANGE AT ANYTIME) AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION NOR LIABILITY TO THE OTHER (EXCEPT STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.

STARBUCKS TEMPLATE VERSION: i2021.07.23

## ARCHITECT OF RECORD

**wd** innovation at scale  
7007 DISCOVERY BLVD  
DUBLIN, OH 43017  
614.634.7000 T  
wdpartners.com



PROJECT NAME:  
**LAKE & LARAMIE - WILMETTE**

PROJECT ADDRESS:  
**3520 LAKE AVE., WILMETTE, IL 60091**

COUNTY:  
**COOK**

STORE #: 10452  
PROJECT #: 32865-074  
ISSUE DATE: 11-15-2021  
STORE DESIGNER: CHLOE EGBERT  
LEED@AP: N/A  
PRODUCTION DESIGNER: WD PARTNERS  
CHECKED BY: JOSH STEIMLING

## REVISION SCHEDULE

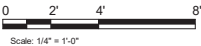
REV	DATE	BY	DESCRIPTION

SHEET TITLE:  
**FF & E PLAN**

SCALE: AS SHOWN

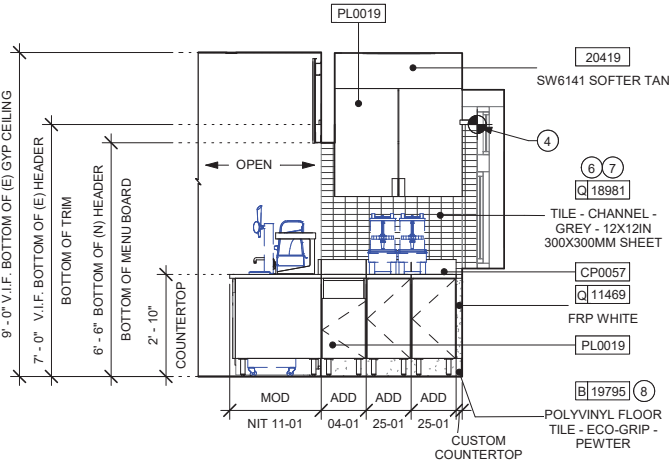
SHEET NUMBER:

1101

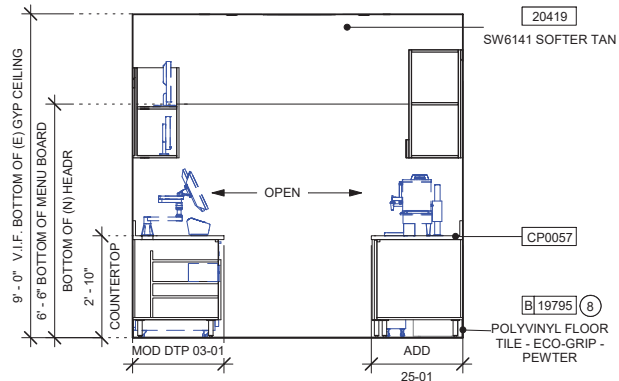


11/15/2021 FINAL BID / PERMIT SET

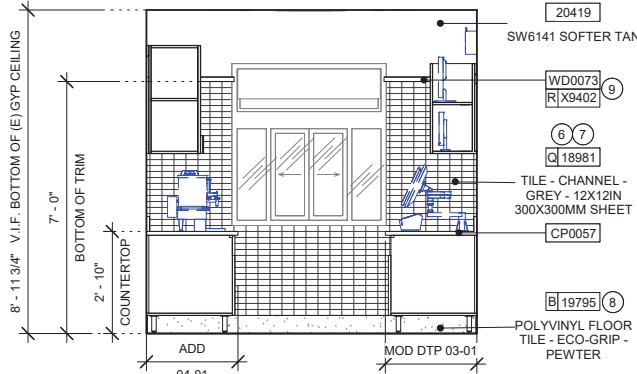




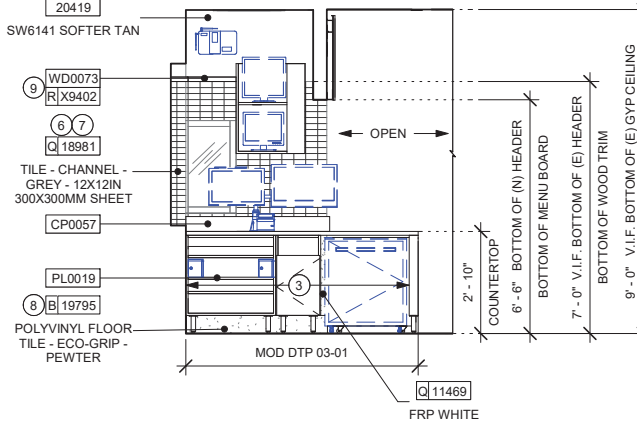
1 ELEVATION @ CUSTOM CASEWORK (R) SHUTTLE  
Scale: 3/8" = 1'-0"



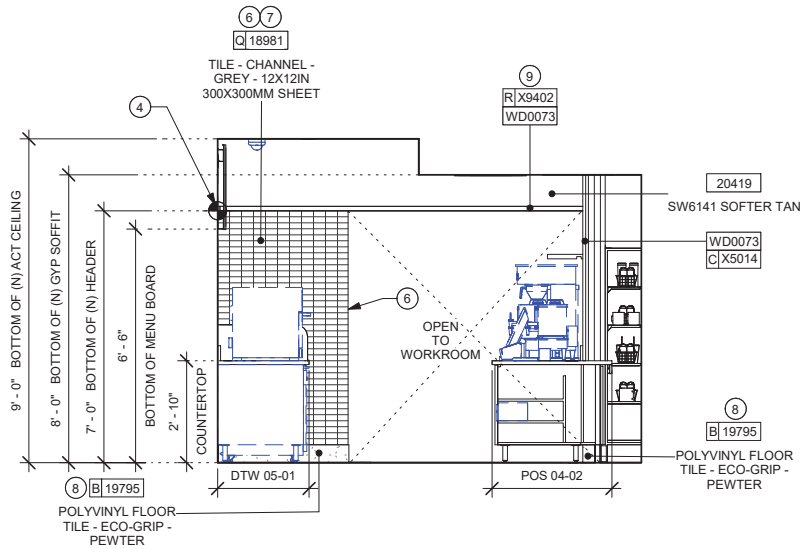
4 ELEVATION @ OPP DT WINDOW - HEADER SIDE  
Scale: 3/8" = 1'-0"



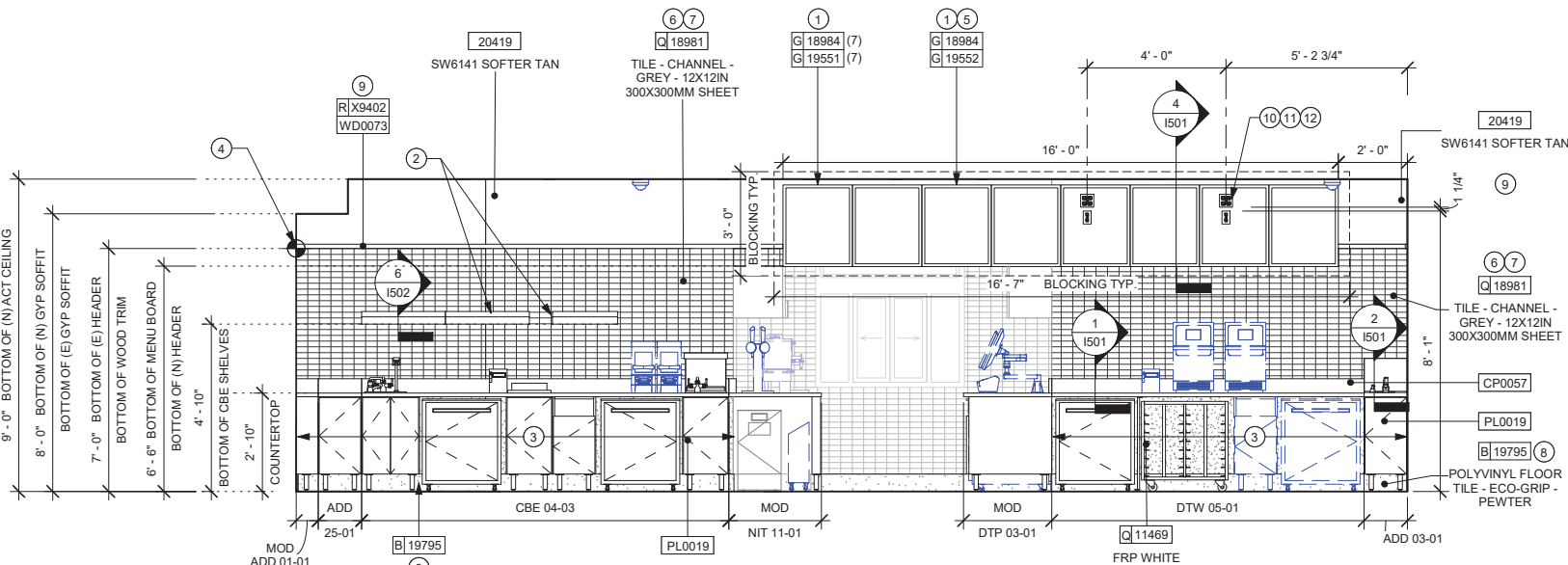
2 ELEVATION @ DT-WINDOW  
Scale: 3/8" = 1'-0"



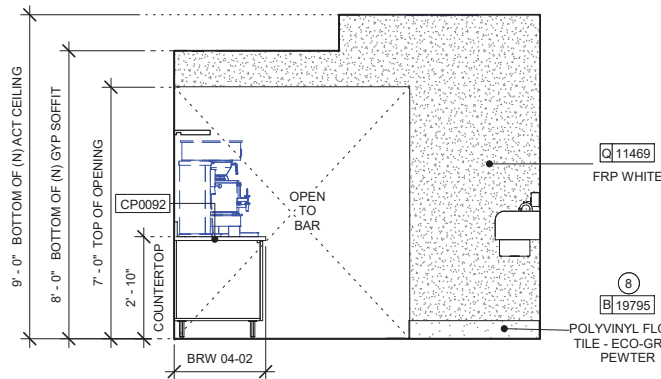
3 ELEVATION @ DT POS  
Scale: 3/8" = 1'-0"



6 ELEVATION @ BAR TO WORKROOM  
Scale: 3/8" = 1'-0"



5 ELEVATION @ BACKBAR  
Scale: 3/8" = 1'-0"



7 ELEVATION @ WORKROOM TO BAR  
Scale: 3/8" = 1'-0"

## GENERAL NOTES

- FOR GRAPHICS SCHEDULE, REFER TO THE FURNITURE, FIXTURES, AND EQUIPMENT (FF & E) SCHEDULES ON SHEET I601.
- REFER TO MANUFACTURER'S INSTRUCTIONS INCLUDED WITH ARTWORK/GRAPHICS FOR PROPER INSTALLATION.
- CHANGE PAINT COLOR ONLY AT INSIDE CORNERS UNLESS OTHERWISE INDICATED.
- PAINT FINISHES SHALL BE APPLIED AS FOLLOWS, UNLESS NOTED OTHERWISE:
  - WOODS AND METAL SURFACES SHALL BE SEMI-GLOSS OR EQUAL.
  - ACCENT AND TRIM PAINTS TO BE SEMI-GLOSS OR EQUAL.
  - WALL AND CEILING PAINTS TO BE EGGSHELL OR EQUAL.
  - PAINTS IN BOH, RESTROOM(S) OR CAFE BAR SHALL BE SEMI-GLOSS OR EQUAL.
- PAINT SUBSTITUTIONS ARE NOT ALLOWED. USE STARBUCKS NATIONAL ACCOUNT COLOR CODE WHEN ORDERING PAINTS.
- FLOORS, WALLS AND CEILING FINISHES IN FOOD PREPARATION AREAS SHALL BE SMOOTH, NON-TOXIC, NON-ABSORBENT, DURABLE AND EASILY CLEANABLE. PAINT SHALL BE WASHABLE; SEMI-GLOSS OR HIGH GLOSS FINISH.
- ALL WOOD SURFACES (DOORS, TRIM, SHELVES, CABINETS) SHALL BE SEALED.
- REFER TO CASEWORK FINISH SCHEDULE ON THE CASEWORK FINISH PLAN ON SHEET I102 FOR CASEWORK FINISH MATERIAL INFORMATION.
- ALIGN TILE TRANSITIONS ON WHOLE TILES AS SHOWN.
- ALL FLOOR AND WALL JUNCTIONS IN STORAGE AND FOOD PREPARATION AREAS SHALL HAVE A 6" COVED BASE.
- ALL FOOD STORAGE SHALL BE 6" (150MM) A.F.F.
- INSTALL BLOCKING AND HANGERS FOR WALL SHELVING BEFORE INSTALLING BACK BAR TILE.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL WORKROOM WALL FINISHES.

## KEYED NOTES

- NEW MENU BOARD WITH UNIVERSAL HINGE MOUNT BRACKET (8) AS INDICATED. REFER TO SHEET I501 FOR INSTALLATION DETAILS.
- SHELVING FOR CBE STATION AS SHOWN. G.C. TO PROVIDE WALL BLOCKING FOR FASTENERS.
- WALL FINISH BEHIND EXPOSED CABINETS AND BELOW UNDERSIDE OF COUNTERTOP SUBSTRATE TO BE FRP.
- TILE START POINT WHERE INDICATED.
- CENTER DAILY OFFERING BOARD ON POS BEYOND
- GC TO PROVIDE SCHLUTER - JOLLY-AE STRIPS AT ALL (CORNERS) EXPOSED TILE EDGE AS REQUIRED.
- INSTALL NEW WALL TILES AT THE BACK BAR.
- NEW BASE AS INDICATED.
- NEW WOOD TRIM (WD0073)
- FUTURE DIGITAL MENUBOARD INFRASTRUCTURE.
- INSTALL NEW QUAD OUTLETS (2)
- DUAL DATA PORTS (2)
- NEW FRP AS INDICATED.
- INSTALL NEW WALL CLADDING AS SHOWN PER MANUFACTURER'S INSTRUCTIONS.



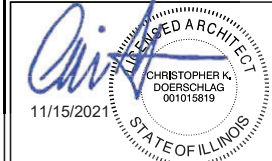
**STARBUCKS®**  
2401 UTAH AVENUE SOUTH  
SEATTLE, WASHINGTON 98134  
(206) 318-1575

THESE DRAWINGS AND THE PROJECT MANUAL ARE CONFIDENTIAL AND SHALL REMAIN THE SOLE PROPERTY OF STARBUCKS CORPORATION, WHICH IS THE OWNER OF THE COPYRIGHT IN THIS WORK. THEY SHALL NOT BE REPRODUCED (IN WHOLE OR IN PART), SHARED WITH THIRD PARTIES OR USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT WITHOUT THE PRIOR WRITTEN CONSENT OF STARBUCKS CORPORATION. THESE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO EXPRESS DESIGN INTENT FOR A PROTOTYPICAL STARBUCKS STORE (WHICH IS SUBJECT TO CHANGE AT ANY TIME) AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION NOR LIABILITY TO THE OTHER (EXCEPT STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.

STARBUCKS TEMPLATE VERSION: I2021.07.23

## ARCHITECT OF RECORD

**wd** innovation at scale  
7007 DISCOVERY BLVD  
DUBLIN, OH 43017  
614.634.7000 T  
wdpartners.com



PROJECT NAME:  
**LAKE & LARAMIE - WILMETTE**

PROJECT ADDRESS:  
**3520 LAKE AVE., WILMETTE, IL 60091**

COUNTY:  
**COOK**

STORE #: 10452  
PROJECT #: 32865-074  
ISSUE DATE: 11-15-2021  
STORE DESIGNER: CHLOE EGBERT  
LEED@AP: N/A  
PRODUCTION DESIGNER: WD PARTNERS  
CHECKED BY: JOSH STEIMLING

## REVISION SCHEDULE

REV	DATE	BY	DESCRIPTION

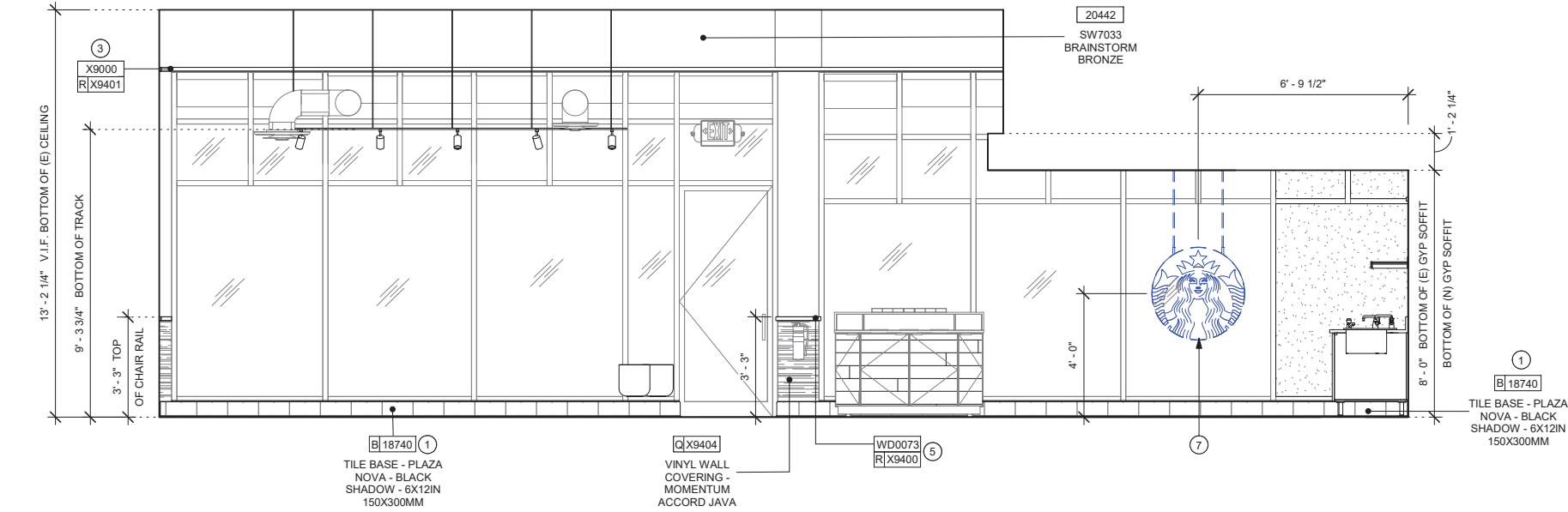
SHEET TITLE:  
**INTERIOR FINISH ELEVATIONS**

SCALE: AS SHOWN

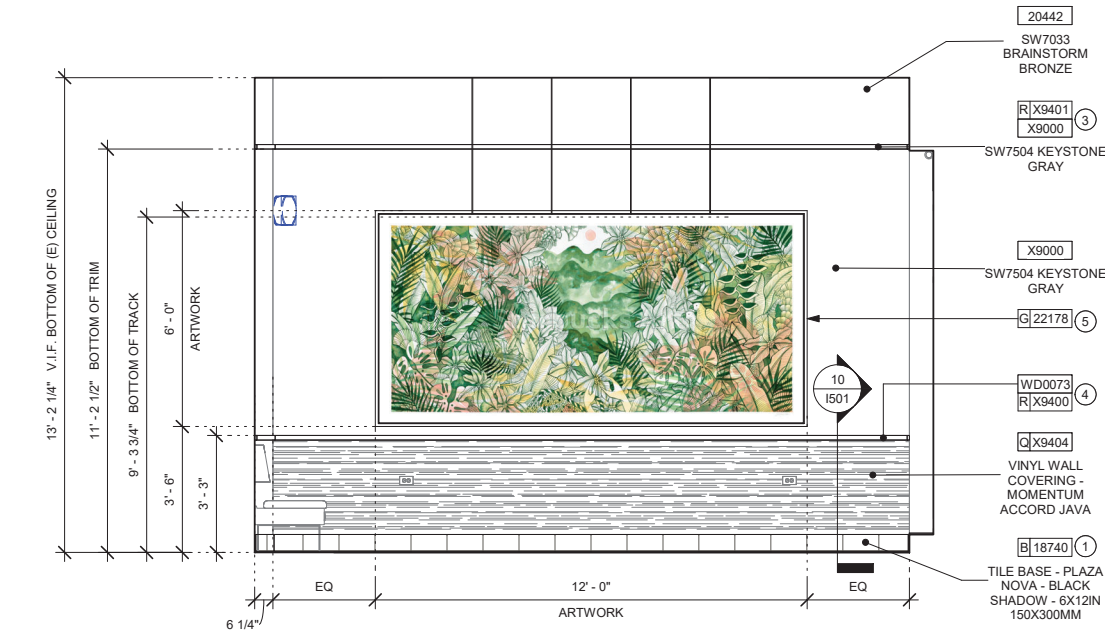
SHEET NUMBER:

I201





1 ELEVATION @ CONDIMENT CART  
Scale: 3/8" = 1'-0"



2 ELEVATION @ ARTWORK  
Scale: 3/8" = 1'-0"



GENERAL NOTES

- A. FOR GRAPHICS SCHEDULE, REFER TO THE FURNITURE, FIXTURES, AND EQUIPMENT (FF & E) SCHEDULES ON SHEET I601.
- B. REFER TO MANUFACTURER'S INSTRUCTIONS INCLUDED WITH ARTWORK/GRAPHICS FOR PROPER INSTALLATION.
- C. CHANGE PAINT COLOR ONLY AT INSIDE CORNERS UNLESS OTHERWISE INDICATED.
- D. PAINT FINISHES SHALL BE APPLIED AS FOLLOWS, UNLESS NOTED OTHERWISE:  
1) WOODS AND METAL SURFACES SHALL BE SEMI-GLOSS OR EQUAL.  
2) ACCENT AND TRIM PAINTS TO BE SEMI-GLOSS OR EQUAL.  
a. WALL AND CEILING PAINTS TO BE EGGSHELL OR EQUAL.  
3) PAINTS IN BOH, RESTROOM(S) OR CAFE BAR SHALL BE SEMI-GLOSS OR EQUAL.
- E. PAINT SUBSTITUTIONS ARE NOT ALLOWED. USE STARBUCKS NATIONAL ACCOUNT COLOR CODE WHEN ORDERING PAINTS.
- F. FLOORS, WALLS AND CEILING FINISHES IN FOOD PREPARATION AREAS SHALL BE SMOOTH, NON-TOXIC, NON-ABSORBENT, DURABLE AND EASILY CLEANABLE. PAINT SHALL BE WASHABLE; SEMI-GLOSS OR HIGH GLOSS FINISH.
- G. ALL WOOD SURFACES (DOORS, TRIM, SHELVES, CABINETRY) SHALL BE SEALED.
- H. REFER TO CASEWORK FINISH SCHEDULE ON THE CASEWORK FINISH PLAN ON SHEET I102 FOR CASEWORK FINISH MATERIAL INFORMATION.
- I. ALIGN TILE TRANSITIONS ON WHOLE TILES AS SHOWN.
- J. ALL FLOOR AND WALL JUNCTIONS IN STORAGE AND FOOD PREPARATION AREAS SHALL HAVE A 6" COVED BASE.
- K. ALL FOOD STORAGE SHALL BE 6" (150MM) A.F.F.
- L. INSTALL BLOCKING AND HANGERS FOR WALL SHELVING BEFORE INSTALLING BACK BAR TILE.
- M. GENERAL CONTRACTOR TO PROVIDE AND INSTALL WORKROOM WALL FINISHES.

KEYED NOTES

1. INSTALL NEW BASE AS INDICATED.
2. INSTALL NEW WALLCLADDING AS SHOWN PER MANUFACTURERS INSTRUCTIONS.
3. NEW WOOD TRIM (WD0073).
4. NEW CHAIR RAIL AND WAINSCOT AS INDICATED.
5. INSTALL NEW ARTWORK. SEE GRAPHICS SCHEDULE ON I601 FOR MORE INFORMATION.
6. LOCATION OF RELOCATED ILLUMINATED SIGNAGE.



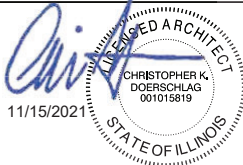
**STARBUCKS®**  
2401 UTAH AVENUE SOUTH  
SEATTLE, WASHINGTON 98134  
(206) 318-1575

THESE DRAWINGS AND THE PROJECT MANUAL ARE CONFIDENTIAL AND SHALL REMAIN THE SOLE PROPERTY OF STARBUCKS CORPORATION, WHICH IS THE OWNER OF THE COPYRIGHT IN THIS WORK. THEY SHALL NOT BE REPRODUCED (IN WHOLE OR IN PART), SHARED WITH THIRD PARTIES OR USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT WITHOUT THE PRIOR WRITTEN CONSENT OF STARBUCKS CORPORATION. THESE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO EXPRESS DESIGN INTENT FOR A PROTOTYPICAL STARBUCKS STORE (WHICH IS SUBJECT TO CHANGE AT ANY TIME) AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION NOR LIABILITY TO THE OTHER (EXCEPT STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.

STARBUCKS TEMPLATE VERSION: I2021.07.23

ARCHITECT OF RECORD

**wd** innovation at scale  
7007 DISCOVERY BLVD  
DUBLIN, OH 43017  
614.634.7000 T  
wdpartners.com



PROJECT NAME:  
**LAKE & LARAMIE - WILMETTE**

PROJECT ADDRESS:  
**3520 LAKE AVE., WILMETTE, IL 60091**

COUNTY:  
**COOK**

STORE #: 10452  
PROJECT #: 32865-074  
ISSUE DATE: 11-15-2021  
STORE DESIGNER: CHLOE EGBERT  
LEED® AP: N/A  
PRODUCTION DESIGNER: WD PARTNERS  
CHECKED BY: JOSH STEIMLING

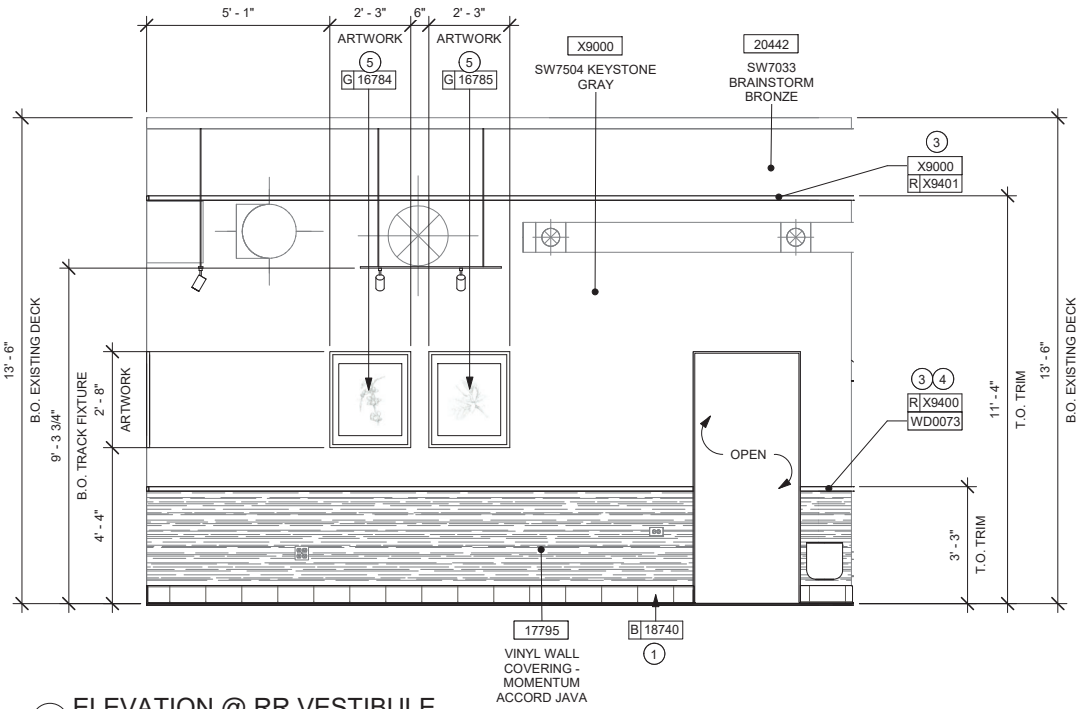
REVISION SCHEDULE

REV	DATE	BY	DESCRIPTION

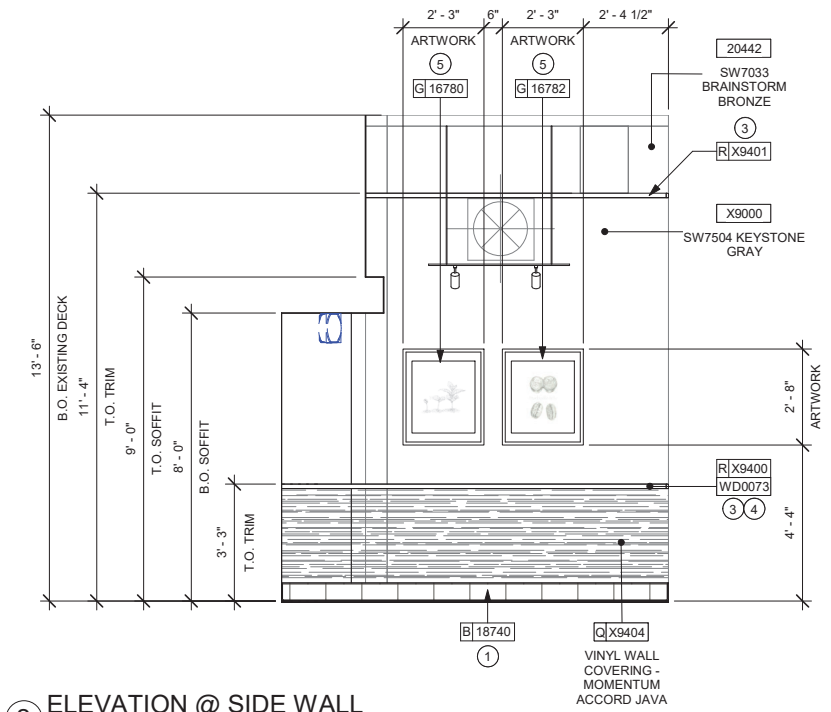
SHEET TITLE:  
**INTERIOR FINISH ELEVATIONS**  
SCALE: AS SHOWN

SHEET NUMBER:  
**I203**

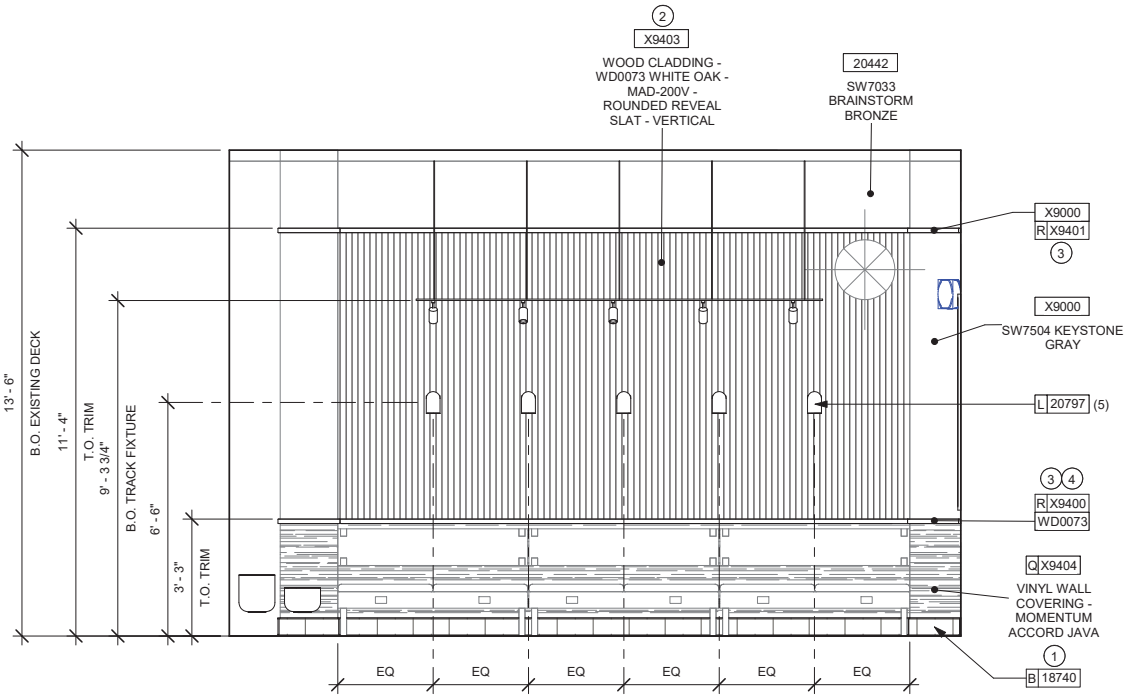
11/15/2021 FINAL BID / PERMIT SET



1 ELEVATION @ RR VESTIBULE  
Scale: 3/8" = 1'-0"



2 ELEVATION @ SIDE WALL  
Scale: 3/8" = 1'-0"



3 ELEVATION @ BANQUETTE  
Scale: 3/8" = 1'-0"

GENERAL NOTES

- A. FOR GRAPHICS SCHEDULE, REFER TO THE FURNITURE, FIXTURES, AND EQUIPMENT (FF & E) SCHEDULES ON SHEET I601.
- B. REFER TO MANUFACTURER'S INSTRUCTIONS INCLUDED WITH ARTWORK/GRAPHICS FOR PROPER INSTALLATION.
- C. CHANGE PAINT COLOR ONLY AT INSIDE CORNERS UNLESS OTHERWISE INDICATED.
- D. PAINT FINISHES SHALL BE APPLIED AS FOLLOWS, UNLESS NOTED OTHERWISE:  
1) WOODS AND METAL SURFACES SHALL BE SEMI-GLOSS OR EQUAL.  
2) ACCENT AND TRIM PAINTS TO BE SEMI-GLOSS OR EQUAL.  
a. WALL AND CEILING PAINTS TO BE EGGSHELL OR EQUAL.  
3) PAINTS IN BOH, RESTROOM(S) OR CAFE BAR SHALL BE SEMI-GLOSS OR EQUAL.
- E. PAINT SUBSTITUTIONS ARE NOT ALLOWED. USE STARBUCKS NATIONAL ACCOUNT COLOR CODE WHEN ORDERING PAINTS.
- F. FLOORS, WALLS AND CEILING FINISHES IN FOOD PREPARATION AREAS SHALL BE SMOOTH, NON-TOXIC, NON-ABSORBENT, DURABLE AND EASILY CLEANABLE. PAINT SHALL BE WASHABLE; SEMI-GLOSS OR HIGH GLOSS FINISH.
- G. ALL WOOD SURFACES (DOORS, TRIM, SHELVES, CABINETRY) SHALL BE SEALED.
- H. REFER TO CASEWORK FINISH SCHEDULE ON THE CASEWORK FINISH PLAN ON SHEET I102 FOR CASEWORK FINISH MATERIAL INFORMATION.
- I. ALIGN TILE TRANSITIONS ON WHOLE TILES AS SHOWN.
- J. ALL FLOOR AND WALL JUNCTIONS IN STORAGE AND FOOD PREPARATION AREAS SHALL HAVE A 6" COVED BASE.
- K. ALL FOOD STORAGE SHALL BE 6" (150MM) A.F.F.
- L. INSTALL BLOCKING AND HANGERS FOR WALL SHELVING BEFORE INSTALLING BACK BAR TILE.
- M. GENERAL CONTRACTOR TO PROVIDE AND INSTALL WORKROOM WALL FINISHES.

KEYED NOTES

1. INSTALL NEW TILE BASE AS INDICATED.
2. INSTALL NEW WALLCLADDING AS SHOWN PER MANUFACTURERS INSTRUCTIONS.
3. NEW WOOD TRIM (WD0073).
4. NEW CHAIR RAIL AND WAINSCOT AS INDICATED.
5. INSTALL NEW ARTWORK. SEE GRAPHICS SCHEDULE ON I601 FOR MORE INFORMATION.



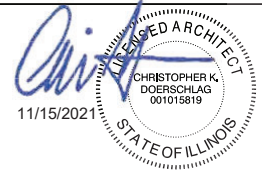
**STARBUCKS®**  
2401 UTAH AVENUE SOUTH  
SEATTLE, WASHINGTON 98134  
(206) 318-1575

THESE DRAWINGS AND THE PROJECT MANUAL ARE CONFIDENTIAL AND SHALL REMAIN THE SOLE PROPERTY OF STARBUCKS CORPORATION, WHICH IS THE OWNER OF THE COPYRIGHT IN THIS WORK. THEY SHALL NOT BE REPRODUCED (IN WHOLE OR IN PART), SHARED WITH THIRD PARTIES OR USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT WITHOUT THE PRIOR WRITTEN CONSENT OF STARBUCKS CORPORATION. THESE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO EXPRESS DESIGN INTENT FOR A PROTOTYPICAL STARBUCKS STORE (WHICH IS SUBJECT TO CHANGE AT ANYTIME) AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION NOR LIABILITY TO THE OTHER (EXCEPT STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.

STARBUCKS TEMPLATE VERSION: I2021.07.23

ARCHITECT OF RECORD

**wd** innovation at scale  
7007 DISCOVERY BLVD  
DUBLIN, OH 43017  
614.634.7000 T  
wdpartners.com



PROJECT NAME:  
**LAKE & LARAMIE - WILMETTE**

PROJECT ADDRESS:  
**3520 LAKE AVE., WILMETTE, IL 60091**

COUNTY:  
**COOK**

STORE #: 10452  
PROJECT #: 32865-074  
ISSUE DATE: 11-15-2021  
STORE DESIGNER: CHLOE EGBERT  
LEED@AP: N/A  
PRODUCTION DESIGNER: WD PARTNERS  
CHECKED BY: JOSH STEIMLING

REVISION SCHEDULE

REV	DATE	BY	DESCRIPTION

SHEET TITLE:  
**INTERIOR FINISH ELEVATIONS**  
SCALE: AS SHOWN

SHEET NUMBER:  
**I204**

11/15/2021 FINAL BID / PERMIT SET

## SOLYX® Glass Finishes

### SXWF-BO Blackout



#### Product Description

SOLYX® SXWF-BO Blackout is a black, completely opaque, polyester film with a high gloss finish, ideal for obscuring direct visibility.

#### Specifications

Product Code	SXWF-BO
Product Family	Architectural/Opaque
Film Type	Polyester
Adhesive Type	Pressure-Sensitive
Usage	Interior or Exterior
Available Width(s)	24", 36", 60", 72"
Full Roll Length	100 linear feet (30.5m)
Thickness	2 mil
Shading Coefficient	0.19
Visible Light Reflection	15%
Visible Light Transmission	0%
UV Transmission	0%
Total Solar Energy Rejected	83%
Solar Energy Absorbed	60%
Glare Reduction	100%

#### Product Construction

##### Face Film

2 mil Polyester

##### Adhesive

Clear, Solvent Acrylic, Pressure-Sensitive

##### Release Liner

Silicone Coated

#### Product Details

SOLYX® SXWF-BO Blackout is a black, completely opaque, polyester film with a high gloss finish. This film is made of multi-layered durable polyester for 100% light blocking applications and is supplied with a silicone coated liner which protects the clear pressure-sensitive adhesive. It is designed for application to interior glass or on the outside surface of exterior glass. This ideal privacy film is very easy to install because it is thinner than standard blackout films.

**NOTE:** This film is not recommended for installation onto single-pane plate glass! It is only suitable for tempered, heat strengthened, double insulated glass units or single pane tempered glass.

#### Flammability Rating

This product meets ASTM E84 and is classified as Class A as defined in NFPA 101, Life Safety Code®.

#### LEED Credit EQ 4.1 Low Emitting Materials, Adhesives & Sealants

This product has zero VOC content according to 40 CFR 59, Subpart D (EPA method 24).

#### Installation and Warranty

##### Installation

Installation should be in accordance with the manufacturer's installation instructions. This film is applied using the same tools and techniques used for installing window tinting films.

##### Warranty

This SOLYX® product will be free from defects in material and manufacture for a period of ten (10) years from the date of installation. See warranty information for specific details.

#### Product Distribution and Contact Information

##### Distribution

SOLYX® Decorative Films are available through authorized Installing Dealers, Distributors, or directly from Decorative Films, LLC.

Samples submitted upon request.

##### Contact Information

Decorative Films, LLC

1-888-657-5224

[www.decorativefilm.com](http://www.decorativefilm.com)



# OLYMPUS SERIES™

"We represent B-K Lighting with pride. It's becoming increasingly rare to have a product line that is truly made in the USA by lighting professionals for lighting professionals!"

*Tim Lamberth, SSLtg Lighting and Controls, BKU Spring 2004*



MATERIAL



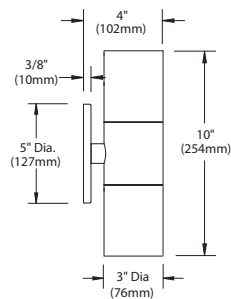
FOR USE WITH



Power Supplies



Options



FOR USE WITH REMOTE  
BALLAST HOUSINGS:



DRM



PM2DRM

See page 360 for Catalog ordering information. See pages 371-373 for Ballast Housing Catalog information.



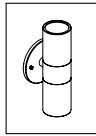
Shown in  
White Satin (WHP) finish

B-K LIGHTING | ARCHITECTURAL SURFACE



229



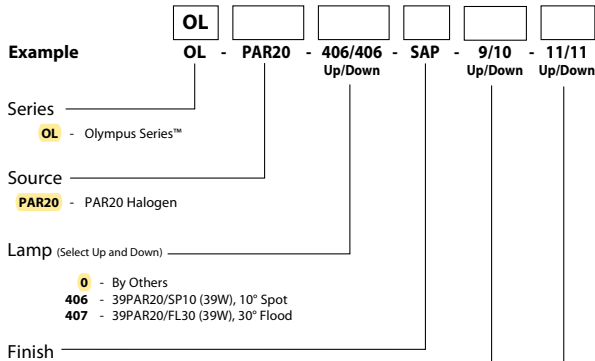


PAR20 Halogen

## OLYMPUS SERIES™

PROJECT:	
TYPE:	
CATALOG NUMBER:	
SOURCE:	
NOTES:	

### CATALOG NUMBER LOGIC



BK Lighting	21243	SCONCE - BK LIGHTING OLYMPUS - SILVER
BK Lighting	21244	SCONCE - BK LIGHTING OLYMPUS - BLACK
BK Lighting	21245	SCONCE - BK LIGHTING OLYMPUS - BRONZE

Standard Finish		
Powder Coat Color	Satin	Wrinkle
Bronze	BZP	BZW
Black	BLP	BLW
White (Gloss)	WHP	WHW
Aluminum	SAP	—
Verde	—	VER

Premium Finish		
ABP	CMG	RMG
Antique Brass Powder	Cascade Mountain Granite	Rocky Mountain Granite
AMG	CRI	SDS
Aleutian Mountain Granite	Cracked Ice	Sonoran Desert Sandstone
AQW	CRM	SMG
Antique White	Cream	Sierra Mountain Granite
BCM	HUG	TXF
Black Chrome	Hunter Green	Textured Forest
BGE	MDS	WCP
Beige	Mojave Desert Sandstone	Weathered Copper
BPP	NBP	WIR
Brown Patina Powder	Natural Brass Powder	Weathered Iron
CAP	OCP	Also available in RAL Finishes See submittal SUB-1439-00
Clear Anodized Powder	Old Copper	

Lens Type (Select Up and Down)

- 9 - Clear (Standard)
- 10 - Spread\*
- 12 - Soft Focus\*
- 13 - Rectilinear\*

Shielding (Select Up and Down)

- 11 - Honeycomb Baffle\*

\* Accommodates up to 2 Lens/Shielding media Up & Down

### LAMP DATA

BK No.	Lamp Watts	Description	Rated Life (hrs.)	Center Beam Candlepower	Beam Angle	Beam Type
406	39	SP10	1,500	3,700	10°	Spot
407	39	FL30	1,500	1,000	30°	Flood

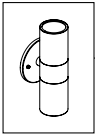
## B-K LIGHTING

40429 Brickyard Drive • Madera, CA 93636 • USA  
559.438.5800 • FAX 559.438.5900  
www.bklighting.com • info@bklighting.com

RELEASED  
06-16-16

DRAWING NUMBER  
SUB-1180-03

THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION OF B-K LIGHTING, INC. AND ITS RECEIPT OR POSSESSION DOES NOT CONVEY ANY RIGHTS TO REPRODUCE, DISCLOSE ITS CONTENTS, OR TO MANUFACTURE, USE OR SELL ANYTHING IT MAY DESCRIBE. REPRODUCTION, DISCLOSURE OR USE WITHOUT SPECIFIC WRITTEN AUTHORIZATION OF B-K LIGHTING, INC. IS STRICTLY FORBIDDEN.

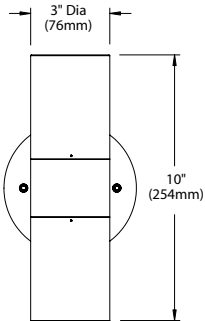


PAR20 Halogen

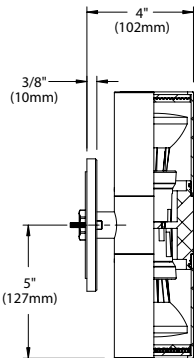
OLYMPUS SERIES™

PROJECT:	
TYPE:	

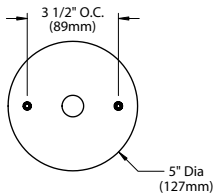
FRONT VIEW



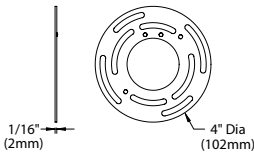
SIDE VIEW



CANOPY DETAIL



UNIVERSAL RING



All dimensions indicated on this submittal are nominal.  
Contact Technical Sales if you require more stringent specifications.

SPECIFICATIONS

**GreenSource Initiative™**  
Metal and packaging components are made from recycled materials. Manufactured using renewable solar energy, produced on site. Returnable to manufacturer at end of life to ensure cradle-to-cradle handling. Packaging contains no chlorofluorocarbons (CFC's). Use of this product may qualify for GreenSource efficacy and recycling rebate(s). Consult [www.bklighting.com/greensource](http://www.bklighting.com/greensource) for program requirements.

**Materials**  
Furnished in Copper-Free Aluminum (Type 6061-T6).

**Body**  
Fully machined from solid billet. Unibody design provides enclosed, water-proof wireway and integral heat sink for maximum component life. High temperature, silicone 'O' Ring provides water-tight seal.

**Cap**  
Fully machined. Flush mounted lens. Accommodates up to (2) lens or louver media per lamp.

**Lens**  
Shock resistant, tempered, clear glass lens is factory adhered to fixture cap and provides hermetically sealed optical compartment.

**Lamp**  
For use with (2) 50 watt maximum, PAR20 line voltage halogen lamps.

**Socket**  
Specification grade ceramic body lamp holder. Medium base, nickel-plated copper alloy lamp grip and screw shell. Corrosion resistant coil spring under center contact.

**Installation**  
5" dia., machined canopy with stainless steel universal mounting ring permits mounting to 4" octagonal junction box (by others).

**Wiring**  
Teflon® coated wire, 18AWG, 600V, 250° C rated and certified to UL 1659 standard.

**Hardware**  
Tamper-resistant, stainless steel hardware. Mounting screws are additionally black oxidized.

**Finish**  
StarGuard®, our exclusive RoHS compliant, 15 stage chromate-free process cleans and conversion coats aluminum components prior to application of Class 'A' TGIC polyester powder coating.

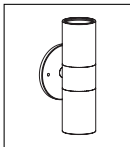
**Warranty**  
5 year limited warranty.

**Certification and listing**  
UL Listed. Certified to CAN/CSA/ANSI Standards. IP66 Rated. RoHS compliant. Suitable for indoor or outdoor use. Suitable for use in wet locations. Made in USA.

\*Teflon is a registered trademark of DuPont Corporation.

<b>B-K LIGHTING</b>	40429 Brickyard Drive • Madera, CA 93636 • USA 559.438.5800 • FAX 559.438.5900 <a href="http://www.bklighting.com">www.bklighting.com</a> • <a href="mailto:info@bklighting.com">info@bklighting.com</a>	RELEASED 06-16-16	DRAWING NUMBER SUB-1180-03
---------------------	--	----------------------	-------------------------------



PAR 20 Halogen Installation Instructions



Warning



Hot Surface



High Voltage

OLYMPUS™ SERIES

TOOLS  
NEEDED:

- 1/8" Allen Wrench
- Waterproof Wire Connectors

By Others

INSTRUCTIONS PERTAINING TO  
A RISK OF FIRE, OR INJURY TO  
PERSONS IMPORTANT SAFETY  
INSTRUCTIONS

Lighted lamp is HOT!  
WARNING - To reduce the risk of FIRE OR INJURY TO PERSONS:  
Turn off/unplug and allow to cool before replacing lamp.  
Lamp gets HOT quickly! Contact only switch/plug when  
turning on.  
Do not touch hot lens, guard, or enclosure (see diagram/  
picture).  
Keep lamp away from materials that may burn.  
Do not touch the lamp at any time. Use a soft cloth. Oil  
from skin may damage lamp.  
Do not operate the luminaire fitting with a missing or  
damaged shield.

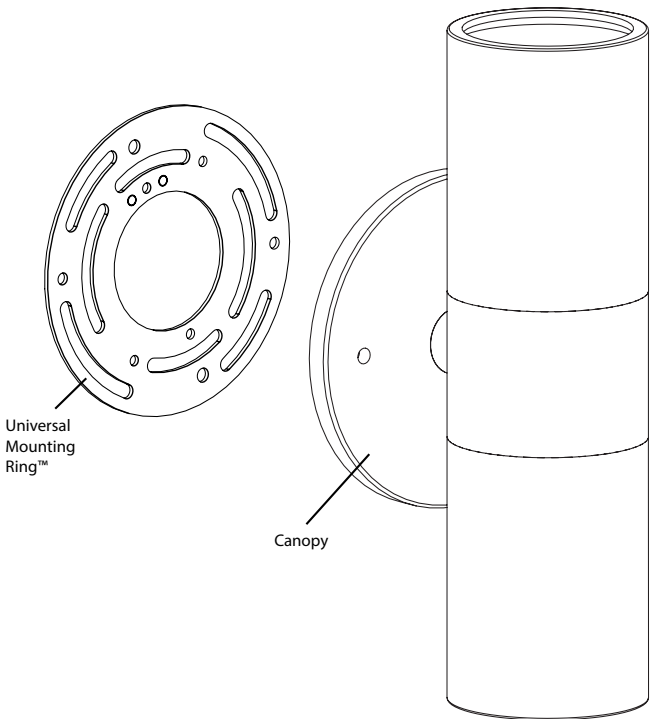
SAVE THESE INSTRUCTIONS

IMPORTANT SAFETY INFORMATION - READ, FOLLOW, AND SAVE ALL SAFETY  
AND INSTALLATION INSTRUCTIONS

- Product must be installed by a qualified person in a manner consistent with its intended use and in compliance with the National Electrical Code, Canadian Electrical Code, and all Local and Provincial Codes.
- Follow product label information and instructions.
- Qualified Personnel must perform all servicing or relamping of this product.
- Before wiring to power supply and during servicing or relamping, turn off power at fuse or circuit breaker before service.
- The use of accessory equipment not recommended by the manufacturer or installed contrary to instructions may cause an unsafe condition. The use of damaged components may cause an unsafe condition and void product warranty.
- Do not block light emanating from product in whole or part, as this may cause an unsafe condition.
- Never operate the fixture with missing or damaged lens. Lens must be cleaned on regular basis.
- Entire fixture may become extremely hot. Do not touch hot lens or fixture body. Do not touch the lamp at any time. Use a clean, dry, soft cloth to handle the lamp. Oil from skin may damage the lamp and cause it to rupture.
- Replace lamp only with correct wattage and type of lamp marked on fixture label.
- All gaskets, o-rings and sealing surfaces must be kept clean during installation and service; failure to do this may cause an unsafe condition and void product warranty.

IMPORTANT LISTINGS AND CERTIFICATIONS

- Suitable for wet locations



IMPORTANT SAFETY INFORMATION - READ, FOLLOW, AND SAVE THESE INSTALLATION INSTRUCTIONS

**B-K LIGHTING**

40429 Brickyard Drive • Madera, CA 93636 • USA  
559.438.5800 • FAX 559.438.5900  
www.bklighting.com • info@bklighting.com

RELEASED  
4-30-18

REFERENCE NUMBER  
INS-2109-01

THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION OF B-K LIGHTING, INC. AND ITS RECEIPT OR POSSESSION DOES NOT CONVEY ANY RIGHTS TO REPRODUCE, DISCLOSE ITS CONTENTS, OR TO MANUFACTURE, USE OR SELL ANYTHING IT MAY DESCRIBE. REPRODUCTION, DISCLOSURE OR USE WITHOUT SPECIFIC WRITTEN AUTHORIZATION OF B-K LIGHTING, INC. IS STRICTLY FORBIDDEN.

**Report to the Appearance Review Commission  
from the  
Department of Community Development**

**Case Number:** 2022-AR-08

**Property:** 1133-1139 Greenleaf Avenue

**Zoning District:** VC, Village Center

**Petitioner:** Buck Russell's

**Request:** The petitioner requests an Appearance Review Certificate to remodel the exterior of the storefront.

**Applicable Provisions of Ordinances:** 20-3.5, Appearance Review Commission Powers  
20-5.7, Appearance Review Certificate

**Meeting Date:** March 7, 2022

**Date of Application:** February 17, 2022

**Notices:** Certificate of Posting dated, February 17, 2022

**Report Prepared By:** Lucas Sivertsen, AICP  
Business Development Coordinator

--



## **Description of the Property**

The subject property is located on the south side of Greenleaf Avenue in the VC, Village Center, Zoning District. Surrounding uses include a multi-family residential building and a limited-service restaurant use to the north across Greenleaf Avenue, a multi-family residential building to the east, townhomes to the south and the Union Pacific railroad right of way to the west across Poplar Drive.

## **Description of Request**

The petitioner requests an Appearance Review Certificate to remodel the exterior of the storefront.

The subject storefront received an Appearance Review Certificate in 2021 for replacing the storefront window system. Subsequent to that approval the applicant was unable to obtain the storefront as approved from the intended manufacturer. In addition, the desired design of the storefront has changed.

The applicant is seeking a modification to that previous approval in order to install a carry-out window on the west end of the storefront and an additional door on the east end of the storefront. The materials, framing thickness, and finish remain the same.

## **Action Required**

The Commission may grant an Appearance Review Certificate provided they determine the proposal meets the following standards.

### **Appearance Review Certificate Standards of Review**

1. All sides of a structure receive design consideration.
2. If the side or rear of the structure faces a street, a residential use, or a property located in a residential zoning district, the exterior materials used on the side or rear are comparable in character and quality to the exterior materials used on the facade of the structure.
3. Materials used in the construction and design of the structure are of durable quality.
4. Mechanical equipment is located or screened so as not to be visible from surrounding streets and properties.
5. The scale and placement of the structure on the site is appropriate to the proportion of the site covered by the structure and the location of the structure in relation to its lot lines.
6. Building design and placement must take into consideration natural grade conditions, existing vegetation, and other natural features.
7. Excessive similarity or dissimilarity in design in relation to surrounding or adjoining structures is discouraged, including but not limited to building height, exterior materials, building mass, roof line, and architectural features.
8. Design takes into consideration the relationship to the street and the pedestrian environment.

9. Parking, storage, and refuse areas are located and screened so as not to negatively affect neighboring properties.
10. Landscape is designed to maintain existing mature trees and shrubs to the maximum extent possible.
11. Landscape provides an aesthetically pleasing design and, where applicable, provides for the screening of parking, storage, refuse, and utility areas from the street and adjacent residential properties.
12. Selected plant materials shall be suitable to Wilmette's climate and to their location on the site. The use of invasive species is prohibited. Invasive species shall be those included in the "Chicago Botanic Garden" list of "Invasive Plants in the Chicago Region."
13. Parking areas are designed to achieve efficient traffic flow and minimize dangerous traffic movements.
14. Signs are of the appropriate design, color and placement to the structure, site and adjoining properties, in terms of materials, height, setback from the street, and proportion.
15. Accessory structures, exterior lighting and fences, complement the overall structure and site design, in terms of materials, size, and architectural character.
16. For new two-unit dwellings, review is limited to whether or not the proposed structure maintains the external appearance of a single-family dwelling.

## **Case File Documents**

### **Location Maps and Plans**

- 2.1 Aerial Map
- 2.2 Storefront Rendering
- 2.3 Storefront Elevation
- 2.4 Shop Drawings
- 2.5 Equipment Plan

## **Case Minutes**

**July 12, 2021**  
**1133-1139 Greenleaf Avenue**

**Buck Russell's**  
**Sign Variation**

Mr. Smith performed the swearing in process for the attendee.

Mr. Goldman introduced himself as the applicant. He works for ReThink Solutions which is a development management company. They work for a lot of hospitality clients. They did the Sophia Steak location. The client for this project is Ballyhoo who also operates Sophia. They have a strong emphasis on brand. The concept is unique and a new concept for them. They

would consider the concept as a full-service lunch counter, but it is not a nostalgia place. A place for the community to gather and have some really great food. It's not just breakfast, but also lunch. It will also have its own bakery, which will make it stand apart from other businesses. The bakery will have a separate retail presence. They will also have a separate coffee component with the bakery.

Mr. Goldman said that's what led them to the storefront. The building has a lot of character, but the storefront glass and especially the transom needs updating. They wanted to divide the space a little bit to give it a neighborhood feel that is more contextual with some of the storefronts on Central Avenue. The color they have picked for the window frame is antique white, which plays well with the color of the brick. They wanted the horizontal mullions to come across at door height. All the doors on the storefront are setback from the sidewalk with a portion of the glass returning at an angle to form the inset. The glass will be 1 inch thick thermally broken insulating units and will be a lot better for energy efficiency. They are planning on doing all four storefronts, but might only remodel the interior of three of the four storefronts to begin with.

Mr. Goldman described the sign variation request. The variation is because the sign is internally illuminated rather than being non-illuminated or externally illuminated with something like goosenecks. He said they feel strongly about having the interior illumination that is clean and modern without all of the other attachments of hanging light fixtures off the building and maintaining those items. It's not a lot of signage. It's actually much less signage than was previously on the building. It's a subtle logo that will glow on a fall day. The rest of the sign conforms. It's not any larger than what is allowed by code.

Mr. Smith asked the commissions if they had any comments or questions.

Mr. Saad said he loves the concept. Some of the issues he has are the lack of drawings to understand the mullions and their thickness and transition from adjoining storefronts. It does change the overall aesthetics of the building by changing the number of window bays by modifying the spacing between the mullions.

Mr. Goldman said he has drawings showing more detail. They will be reusing the existing kneewall. They are not proposing to alter the structure of the building, only the window system.

Mr. Saad said the top horizontal mullion is not aligned with the existing. He wondered why they chose to not align the horizontal mullions.

Mr. Smith said the existing storefront is very delicate looking with clean anodized aluminum.

Mr. Goldman said the height of the horizontal matches the door height which is at eight (8) feet. There are multiple problems with the existing storefront. The transom has a level of opacity with which the client is not comfortable. The existing space has a drop ceiling that is at the same level as the middle of the transom window. He thinks they replaced the transom glass so that it was opaque when they installed the drop ceiling. They wanted to divide the lite of the windows even further than currently proposed, however, they didn't want to divide it too

much, but wanted to give it a cozy feeling. He does not know the complete history of the building, but he would be very surprised if those were the original windows.

Mr. Sivertsen said he could provide some background on the building. The existing awnings and signage on the building were not the original design. He didn't think the transoms are 100% opaque, but there is some sort of film or screen on the transoms.

Mr. Smith said the commission was trying to think about both the quality of design the applicant is bringing to the building and the integrity of the existing building. He agreed with Mr. Saad in that it was difficult to consider the details given the drawings submitted. It was difficult to consider the thickness of the mullions against the existing. The horizontal is so different than that of the existing.

Mr. Goldman said their intent was to celebrate the transom window and wanted to make sure it worked with the new door height.

Mr. Sivertsen said he has encouraged the building owner to remove the awnings as they were not original to the building and that they are not consistent from storefront to storefront. He has had some success with this.

Mr. Johnson said they could always ask to install them again.

Mr. Sivertsen said they could, but they would need to request that approval from the Commission.

Mr. Johnson said there are a lot of moving parts. Each new business is going to want to add their own design to their storefront. The Commission will be setting a precedent for how much change is acceptable to the building.

Mr. Sivertsen said he has spoken to the building owner about the future of the building. They are supportive of the changes proposed by the applicant, but did not think it was necessary to replace all the windows with this same window pattern as proposed. He said the storefronts are in really bad shape and need to be replaced. The single pane windows were in bad shape 10 years ago. He has had contractors tell him they won't work on the building due to liability because of the shape of the storefront. He has been told by businesses that they like the location, but the building is in such bad shape that they don't want to locate there.

Mr. Smith asked what percentage of the building they were proposing to occupy.

Mr. Goldman said he didn't know for sure, but he would guess around 35% of the gross leasable area.

Mr. Sivertsen said he thought it would be closer to 40%.

Ms. Castellano asked for the length of their proposed lease, to see how it may impact what happens with the rest of the building over time.



Mr. Goldman said the initial term was ten years.

Ms. Castellano asked to know the color of the glass.

Mr. Goldman said the glass with be as clear as possible with a low e coating.

Mr. Smith said he was frankly okay with the proposed sign, but he had more concern with the storefront. He didn't think the Commission had enough details of the storefront window system to appropriately evaluate. The proposed window system looks very thick compared to the existing.

Mr. Sivertsen asked if the window system they were proposing had an option for a slimmer profile of window frame.

Mr. Goldman said they are proposing a Kawneer window system. The thickness of the design can be adjusted. He can get them the specs on the framing. They have not gotten to the point of having the shop drawings prepared since they were waiting to get the Commission's approval.

Mr. Miller asked if they were proposing to keep all four doors.

Mr. Goldman said they were proposed to keep all the door locations. Closing off the door would be a challenge since the doors are currently setback.

Mr. Miller asked if they were going to remove the hardware so a customer would not walk through the wrong door.

Mr. Goldman said it would be apparent where to enter the restaurant, however, they would likely remove the exterior hardware. There would be three separate "storefronts" however, they will be all part of one business.

Mr. Smith asked if one of the spaces was going to be an ice cream shop.

Mr. Goldman said that is a concept they have for the easternmost storefront, but they are not focused on that right now.

Mr. Smith asked if the windows will be fixed.

Mr. Goldman confirmed all the windows will be fixed. He handed the Commissioners a copy of a plan with more detail on the window dimensions, but said they are not at the level of detail of a shop drawing.

Mr. Johnson said it would seem reasonable to have a type of approval to set a precent that the vertical mullions could be spaced differently, however, the horizontal mullion would be consistent all the way across the building. That way as the storefronts are replaced going forward, they can have some sort of pattern in the back of their head of what is acceptable. He likes the idea of respecting the location of the existing doors.

Mr. Saad said he would like to take a step back even further. He would like to see a sample of the glass, door metal sample, hardware. He thinks those are the basics to review what is coming before the Commission to make an informed decision.

Mr. Johnson said he would also suggest as they get more information that the materials and design proposed is not a custom design with a large upcharge and therefore would not be easy to replicate.

Mr. Smith said the Kawneer window system is fairly standard so he would think it would not be an issue.

Mr. Brill said they are located in a building with nine storefronts and they are proposing to replace four of the storefronts. They don't own the building so they can't change all of them. He asked how many spaces will be vacant once they open.

Mr. Sivertsen said all the storefronts will be filled once the proposed storefronts are completed.

Mr. Brill asked if they were proposing other signs like a window sign or awning sign.

Mr. Goldman said they were not proposing an awning sign, but maybe a window sign.

Mr. Sivertsen said he had a lot of discussion with the sign company on the sign. The only part of the sign that will be illuminated will be the red and blue letters and lines. All the white background will be opaque.

Mr. Brill said it would be nice if all the storefronts would match.

Mr. Sivertsen confirmed he did speak with the building owner about the proposal. He is supportive of the proposed storefront, but he wanted to leave it up to each tenant, as there is turnover, to install storefronts they wish. Mr. Sivertsen said he told the owner, as storefronts needed to be replaced, they will need to match the design of the current proposal.

Mr. Smith asked if there was a way they can bind that approval to the rest of the building or if it would be a virtue of the consistency of the Commission.

Mr. Sivertsen said it will be up to the Commission as they review future proposals.

Mr. Johnson asked if there can be some consistency as storefronts transition to the new design.

Mr. Goldman said he wouldn't want to reflect the design of the outdated storefront that has less than an eight-foot-tall door.

Mr. Saad said the existing configuration has different heights of the door and transom. They could propose the same in the new storefront design rather than having all the door heights match the transom height.

Mr. Goldman said they were not looking at the old design. He thought they were proposing a new standard.

Ms. Castellano said she thought keeping the height of the door and transom consistent with one another made sense. She did think the horizontal mullion of the transom looks fairly chunky. She thought it would look more acceptable if they reduced the thickness.

Mr. Smith told the applicant they are in no question dramatically improving the quality of the storefront; however, the existing storefront has a delicate window frame that is arguably nicer than having a thicker storefront. If the designer could take that into account and design something that is not as heavy it would help.

Mr. Saad wasn't sure if the vertical mullion dimensions were different or if that was a rendering error.

Mr. Goldman said the portion of the storefront angles back which gives an appearance of a different thickness.

Mr. Johnson said if the new storefront's horizontal mullion matched the height of the existing storefront the doors could always go taller, but it would at least be a way to help the two storefront designs transition over time.

Mr. Goldman said he will just need to go back to the storefront fabricator and ask them to get as slim a profile as possible to try and match the existing thickness.

Mr. Johnson said in his opinion it's more important to have the horizontal mullions line up with each other than have a thin mullion.

Mr. Saad said he doesn't necessarily care where the horizontal mullion of the door frame is located as long as the horizontal mullion of the main storefronts align. He thought it would be great to line up the vertical mullions with the terra cotta finials, however, that might be difficult to work with their window configuration.

Mr. Smith asked if there would be any other exterior lighting other than the sign.

Mr. Goldman said there would not be any other exterior lighting. He wondered if there was anything they could get approval on so they can move forward with a portion of the remodel.

Mr. Smith asked the Commission if they could have a special meeting to accommodate the request before the regularly scheduled meeting in August.

Mr. Sivertsen said the next meeting is scheduled for Monday, August 2, 2021 which is in three weeks.

Mr. Goldman said if the next meeting is in three weeks he's not sure they would even be ready before then so there was no need to have a special meeting. He was thinking the next meeting wasn't until mid-August.

Mr. Smith said if they could send the plans as soon as they have them it will allow the Commissioners time to digest the information prior to the meeting.

Mr. Smith said it would be nice to have a sample of the glass and information on the dimensions of the mullions.

Mr. Goldman said it sounded like the Commission was okay with the antique white finish as proposed. They will need to measure the height of the existing storefront to see the actual height. They might not be the same across the building.

Mr. Sivertsen asked the Commission to review the sign variation standards.

Mr. Smith said the sign would have a minimal impact to the building due to its location on the building, size, and design. He is actually surprised that they did not ask for more signage. While the sign is internally illuminated, a majority of the face of the sign would not be illuminated.

Mr. Johnson said it is consistent with the sign code and the neighborhood. The amount of light proposed would be less than two exterior flood lights, which are permitted by code. Ms. Castellano asked if the light would be on a timer.

Mr. Sivertsen said the sign would need to be off between midnight and 6:00 am.

Mr. Goldman said they would follow whatever the Village's regulations are.

### **Findings**

The Commission found the proposed sign was consistent with the sign code and neighborhood. It will have a minimal impact given the design and will not negatively impact the health, safety, and welfare of the Village. The amount of light produced by the sign will be minimal.

### **Decision**

Mr. Johnson moved to recommend granting a sign variation to install an internally illuminated projecting sign and continue the request for an Appearance Review Certificate to the August 2, 2021 meeting. The motion was seconded by Ms. Castellano. Voting yes: Commissioners Brill, Castellano, Johnson, Miller, Saad, Smith. Voting no: None. **The motion carried.**

Mr. Goldman said he appreciated the Commission's offer the schedule a special meeting to consider their request, however, he didn't think it would be necessary given the lead time for them to get plans updated. He asked if they could get the sign into production.

Mr. Sivertsen said the Commission was providing a recommendation to the Village Board. The Village Board would likely review the matter on July 27, 2021.



Mr. Johnson moved to allow the Chairman to prepare the case report to the Village Board. The motion was seconded by Mr. Brill. Voting yes: Commissioners Brill, Castellano, Johnson, Miller, Saad, Smith. Voting no: None. **The motion carried.**

**August 2, 2021**  
**1133-1139 Greenleaf Avenue**

**Buck Russell's**  
**Appearance Review Certificate**

Mr. Sivertsen introduced Case 2021-AR-34, 1133-1139 Greenleaf Avenue, Buck Russell's requesting an Appearance Review Certificate to replace the storefront window framing system. The applicant appeared before the Commission at their previous meeting and is coming back to address previous comments.

Mr. Goldman said he is representing the petitioner, Buck Russell's. He said they have revised the plans so the proposed horizontal mullion is consistent with the existing in both height and thickness. The storefront window system has a very long lead time and they are anxious to move forward with approvals so they can order the windows.

Mr. Brill said the revised plans are a big improvement from the previous submittal. The only question he has is why they chose to increase the number of horizontal mullions compared with the existing storefronts.

Mr. Goldman said they did a lot of studying of the storefront. They originally wanted to have a fully divided lite that would make it look more like a eight over eight pattern to bring the storefront more of a community feel than a national chain restaurant. They instead chose to do something in between the existing building and their original idea.

Mr. Johnson said the revised proposal meets his previous concerns.

Mr. Saad said it looks great. He wondered if they were proposing any exterior lighting.

Mr. Goldman said they would have interior lighting that would provide illumination at night, but that they were not proposing to have exterior lighting. They wanted to provide a cozy setting.

Mr. Saad asked Mr. Sivertsen is there was a specific amount of window decals they could have.

Mr. Sivertsen said they would be permitted to have window graphics cover up to 10 percent of the overall storefront.

Mr. Goldman said the branding team is looking at this. They don't want to look like a national chain restaurant.

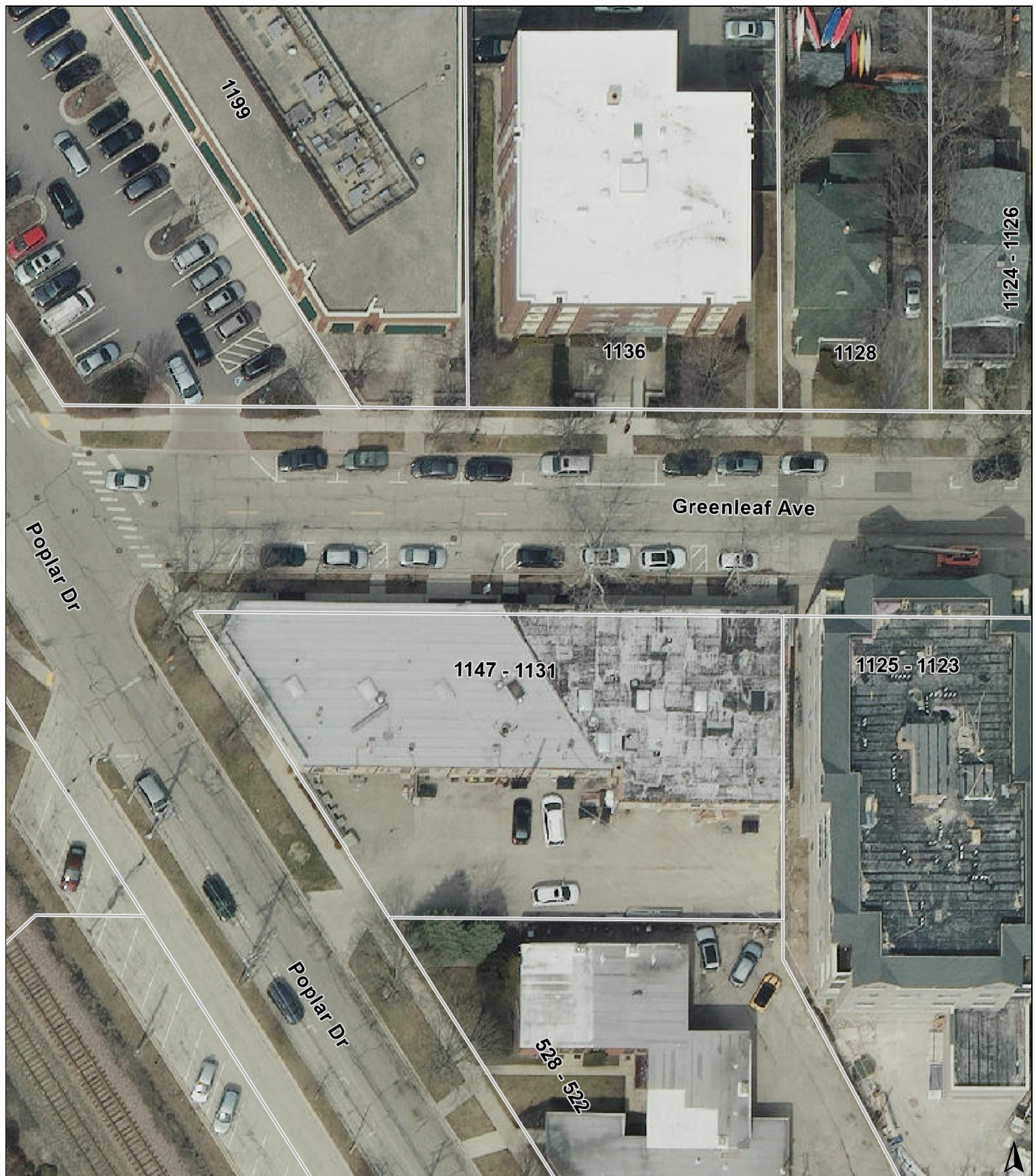
Mr. Smith said he thinks the plans look great. He thought the storefront went all the way to the end, but looking at the elevations it looks like there is one additional tenant space to the east.

Mr. Smith asked if there would be a low-e coating on the glass.

Mr. Goldman confirmed there would be a coating.

Mr. Smith said that would provide a slight tint to the glass.

Mr. Johnson moved to approval Case 2021-AR-34, 1133-1139 Greenleaf Avenue, Buck Russell's for an Appearance Review Certificate to remodel the storefront windows as submitted. The motion was seconded by Mr. Brill. Voting yes: Commissioners Brill, Johnson, Saad and Smith. Voting no: none. **The motion carried.**



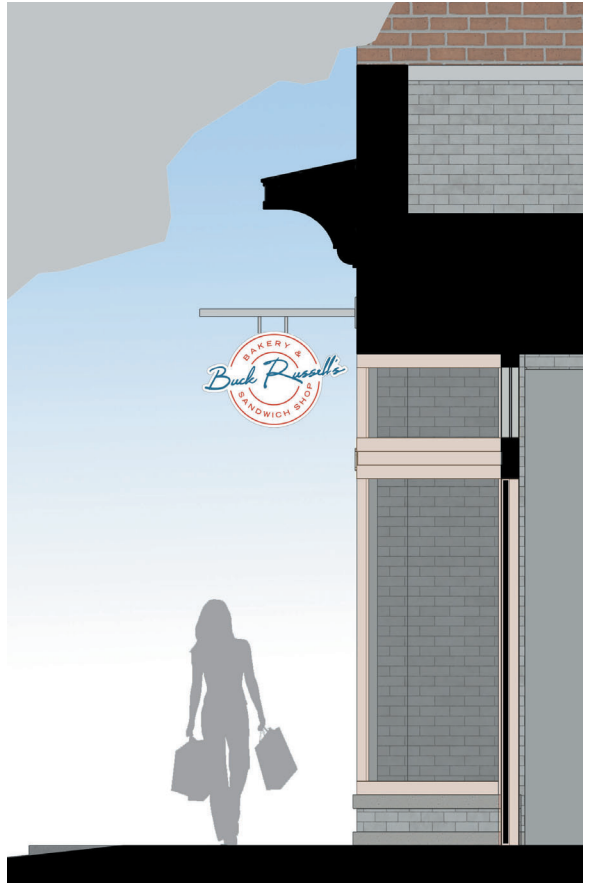
0 50 100  
ft

Print Date: 6/17/2021

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.





# ***BUCK RUSSELL'S BAKERY , SANDWICH & ICE CREAMSHOP***

Wilmette, Illinois

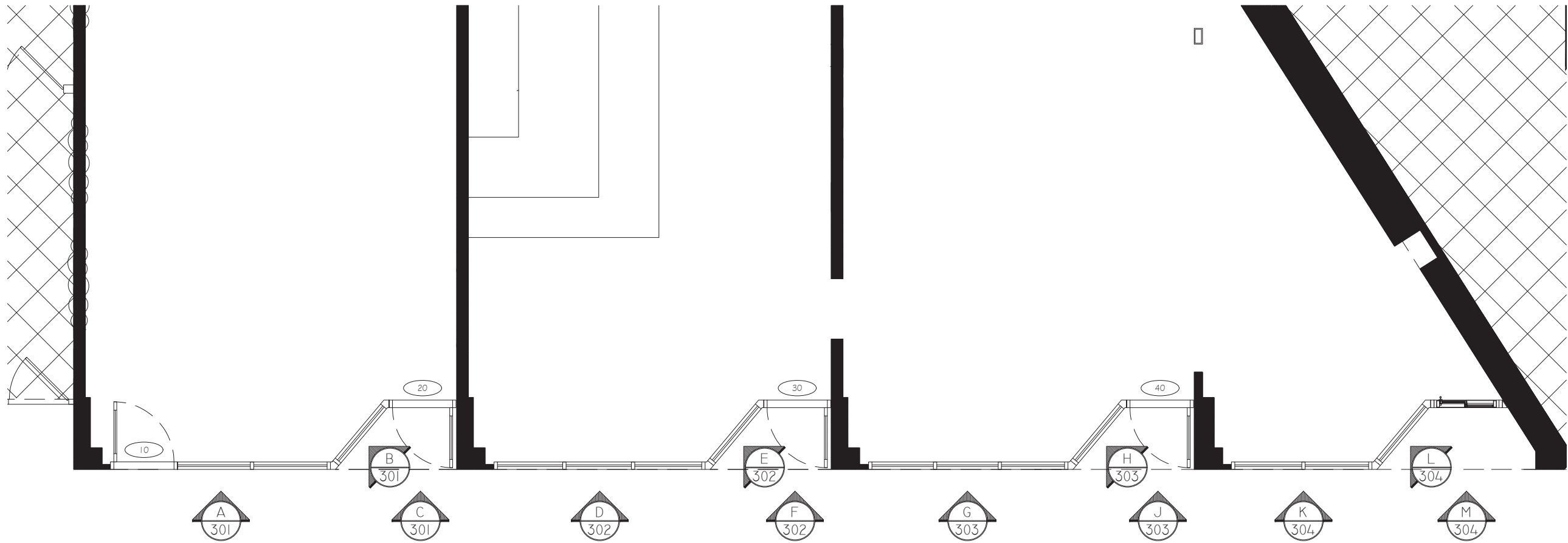
**WEISS**

Architecture • Planning • Design

February 22, 2022





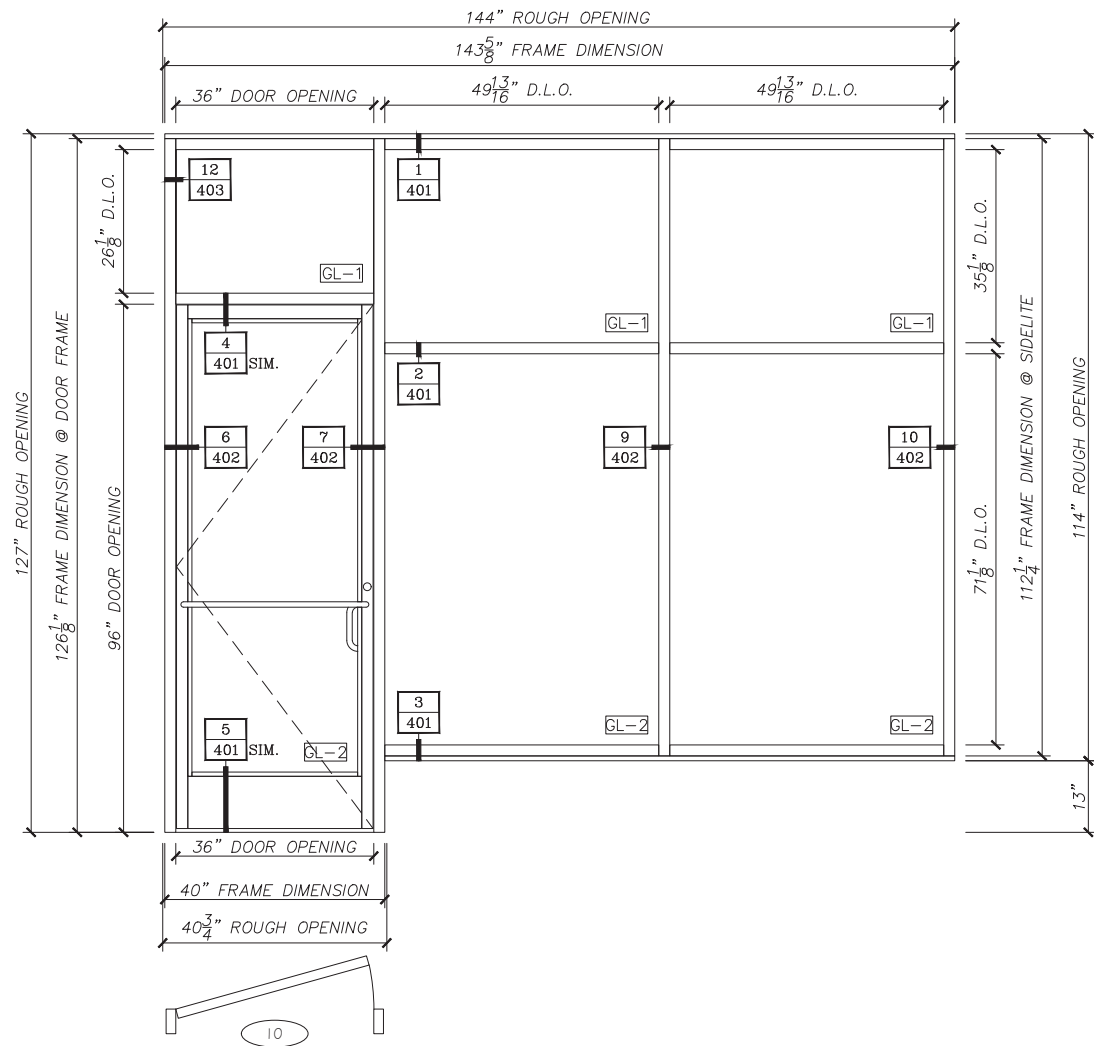


PARTIAL FLOOR PLAN

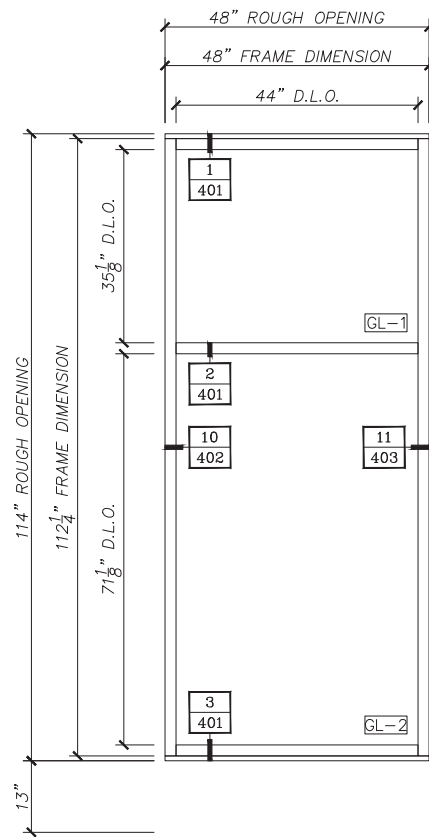
SCALE: 3/8" = 1'-0"



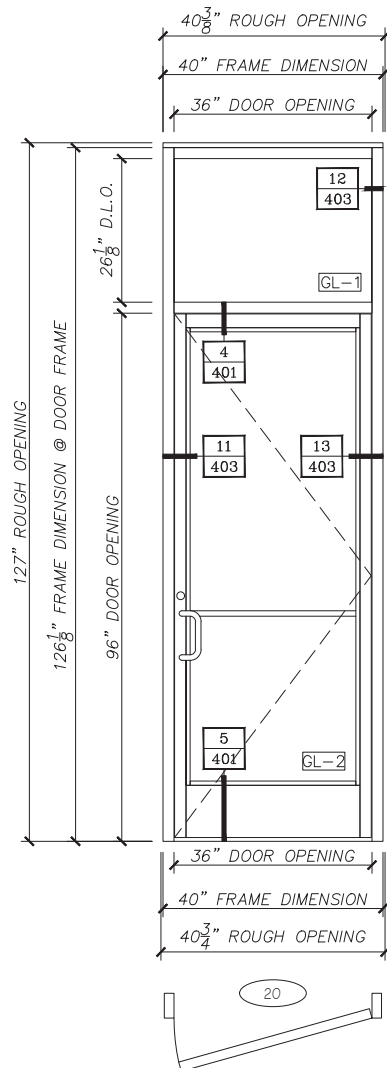
Project Name:		BUCK RUSSELL'S BAKERY & SANDWICH SHOP		Submission		Date
Location:		WILMETTE, ILLINOIS				
Architect:		WEISS ARCHITECTURE				
General Contractor:		KATTARA CONSTRUCTION				
Sheet		201		1630 COMMERCE DRIVE BOURBONNAIS, IL 60914 PHONE: (815)933-2421 FAX: (815)933-8948		
				VALLEY GLASS COMPANY		
				Date: 01/27/22		
				Scale: 3/8" = 1'-0"		
				Dwg. Title: FLOOR PLAN		



TYPE:	QTY: 1 THUS
A	ARCH MK.:
PRODUCT:	TMS 114T

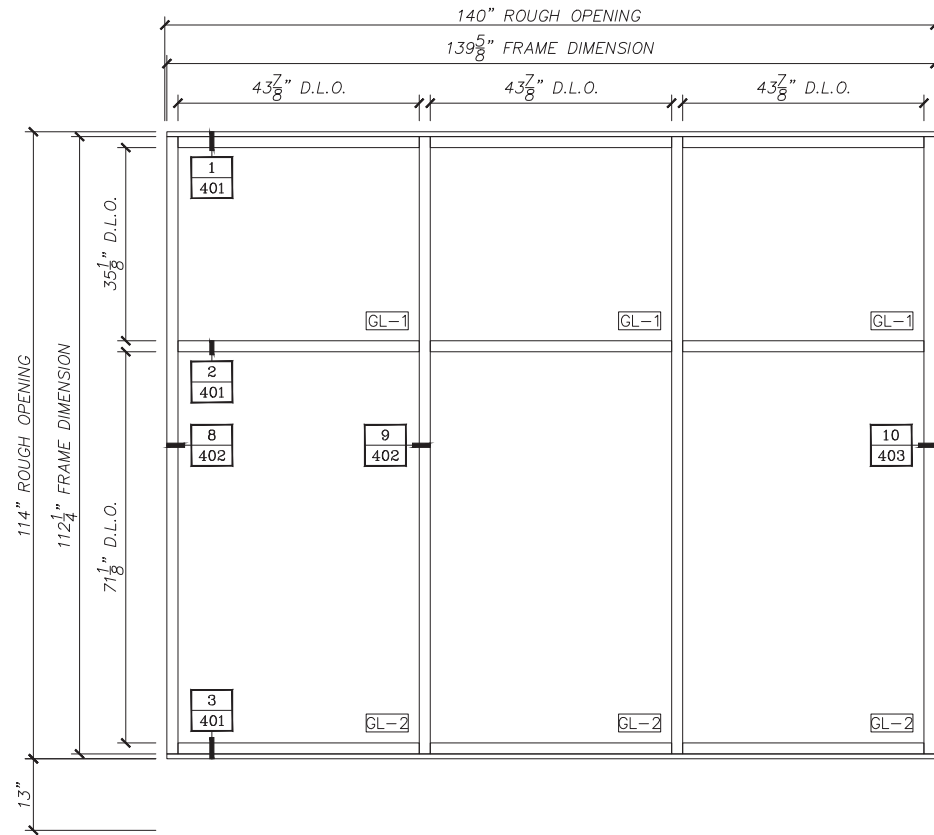


TYPE:	QTY: 1 THUS
B	ARCH MK.:
PRODUCT:	TMS 114T

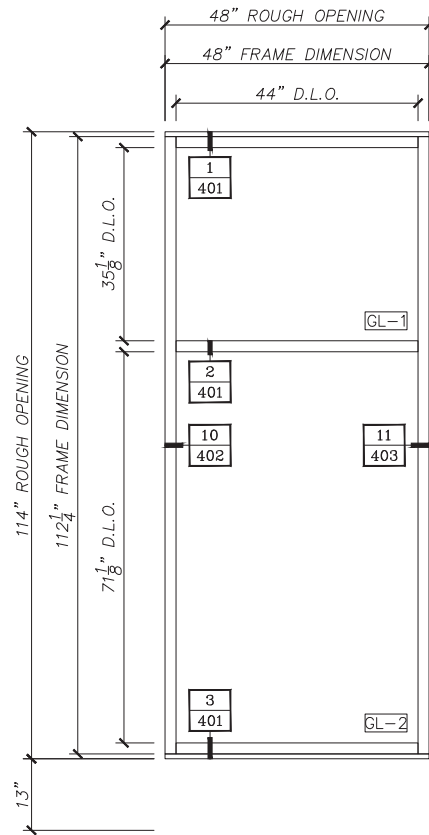


TYPE:	QTY: 1 THUS
C	ARCH MK.:
PRODUCT:	TMS 114T

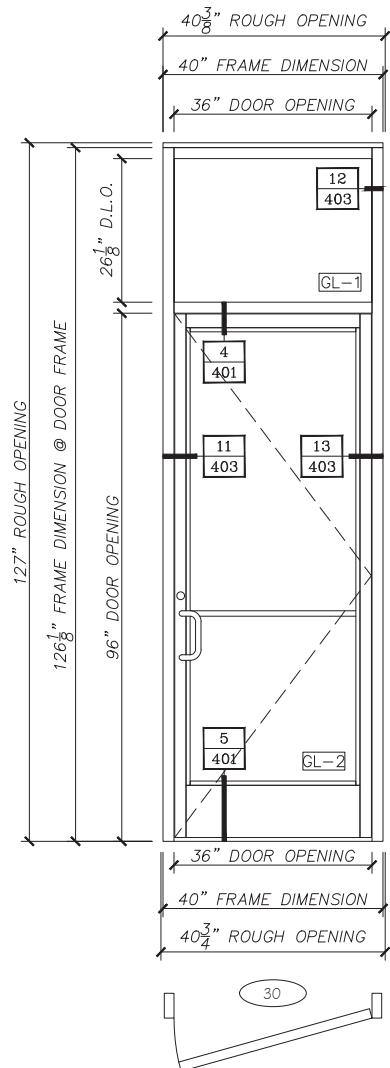
Sheet		1630 COMMERCE DRIVE BOURBONNAIS, IL 60914 PHONE: (815)933-2421 FAX: (815)933-8948		Submission	Date
301		 <b>VALLEY GLASS</b> COMPANY			
Project Name:		Date: 01/27/22			
Location:		Scale: 3/4" = 1'-0"			
Architect:		Dwg. Title: ELEVATIONS			
General Contractor:					
BUCK RUSSELL'S BAKERY & SANDWICH SHOP					
WILMETTE, ILLINOIS					
WEISS ARCHITECTURE					
KATTARA CONSTRUCTION					



TYPE:	QTY: 1 THUS
D	ARCH MK.:
PRODUCT:	TMS 114T

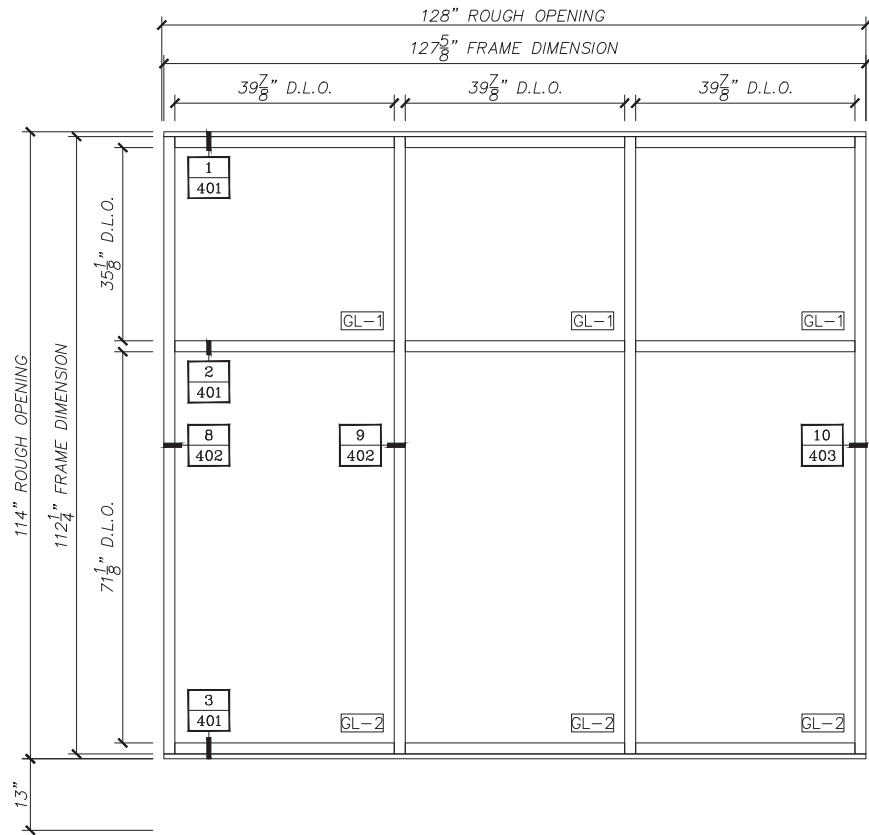


TYPE:	QTY: 1 THUS
E	ARCH MK.:
PRODUCT:	TMS 114T

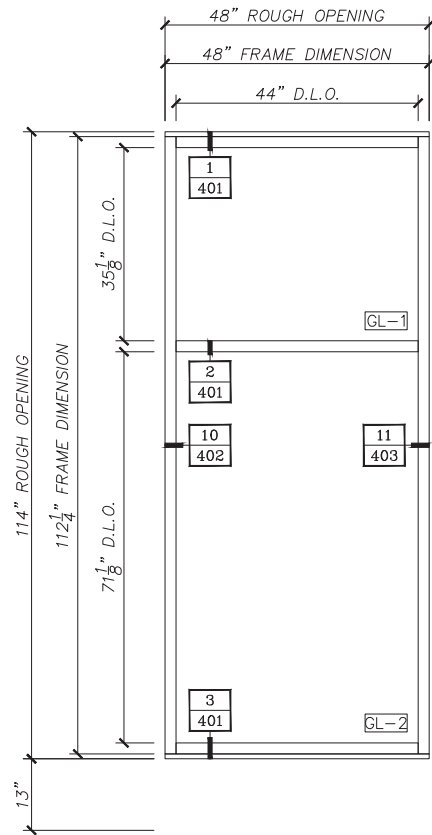


TYPE:	QTY: 1 THUS
F	ARCH MK.:
PRODUCT:	TMS 114T

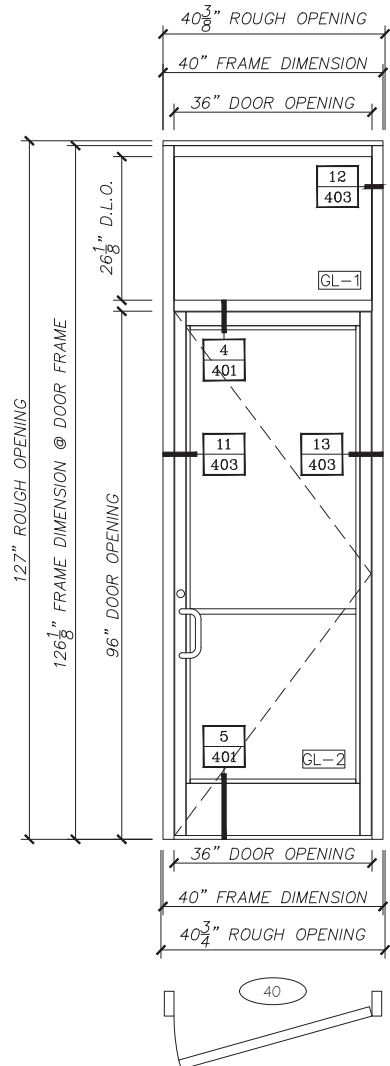
Sheet  302	Project Name:  BUCK RUSSELL'S BAKERY & SANDWICH SHOP		<div><div>1630 COMMERCE DRIVE BOURBONNAIS, IL 60914 PHONE: (815)933-2421 FAX: (815)933-8948</div></div> <div>VALLEY GLASS COMPANY</div>	Submission	Date
	Location:  WILMETTE, ILLINOIS				
	Architect:  WEISS ARCHITECTURE				
	General Contractor:  KATTARA CONSTRUCTION				
	Date: 01/27/22 Scale: 3/4" = 1'-0"				
Dwg. Title:  ELEVATIONS					



TYPE:	QTY: 1 THUS
G	ARCH MK.:
PRODUCT:	TMS 114T



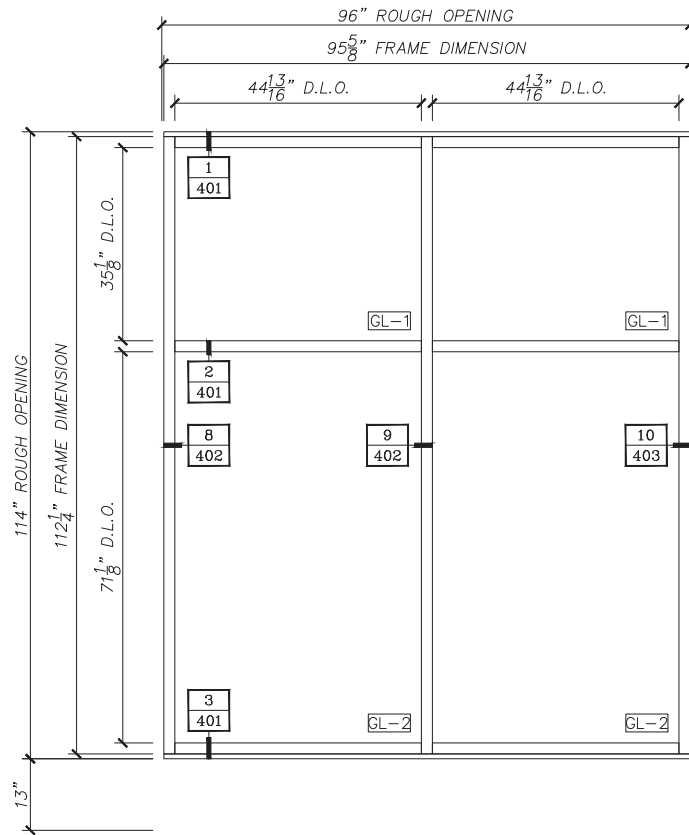
TYPE:	QTY: 1 THUS
H	ARCH MK.:
PRODUCT:	TMS 114T



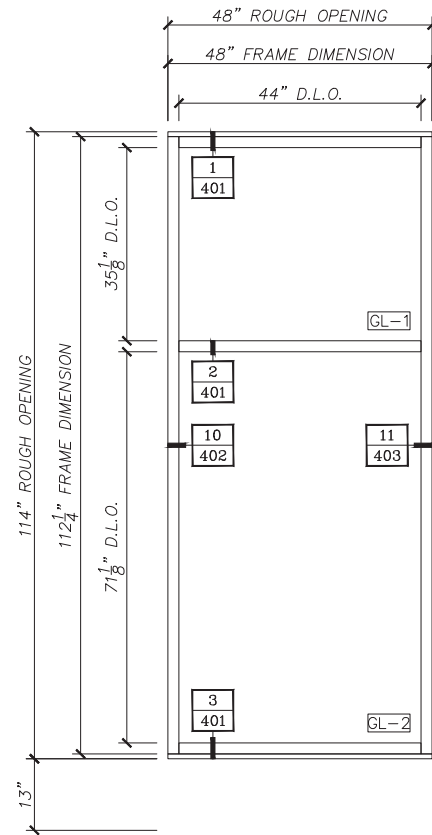
TYPE:	QTY: 1 THUS
J	ARCH MK.:
PRODUCT:	TMS 114T

Project Name:		Submission		Date
Location:				
Architect:				
General Contractor:				
Date:		Scale: 3/4" = 1'-0"		
Dwg. Title:		ELEVATIONS		
Project Name:		1630 COMMERCE DRIVE BOURBONNAIS, IL 60914 PHONE: (815)933-2421 FAX: (815)933-8948		
Location:		VALLEY GLASS COMPANY		
Architect:		Date: 01/27/22		
General Contractor:		Scale: 3/4" = 1'-0"		
		Dwg. Title: ELEVATIONS		
Sheet		303		

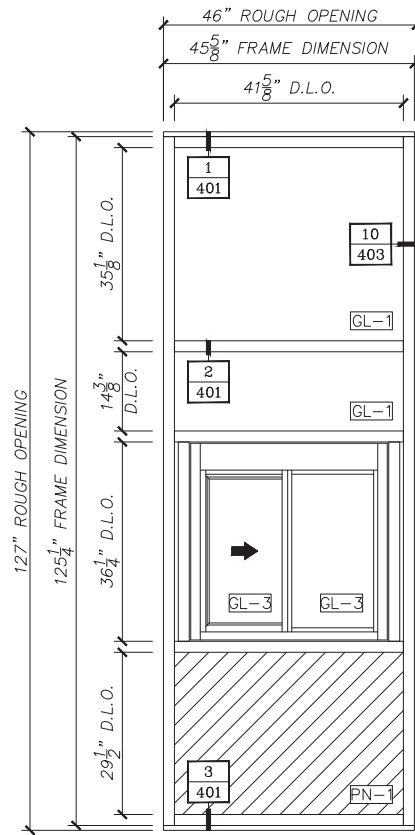




TYPE:	QTY: 1 THUS
K	ARCH MK.:
PRODUCT:	TMS 114T

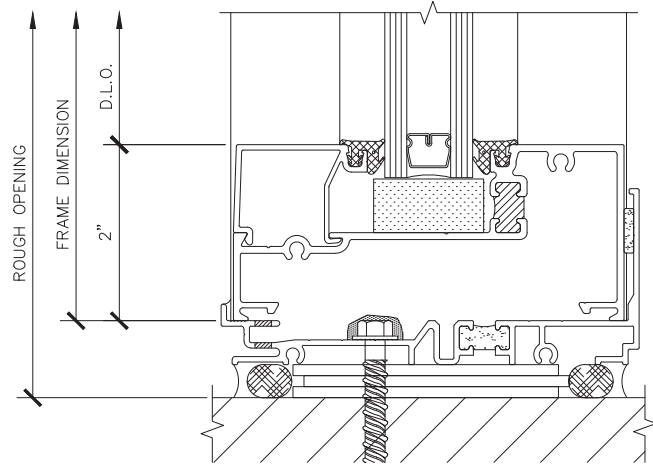


TYPE:	QTY: 1 THUS
L	ARCH MK.:
PRODUCT:	TMS 114T

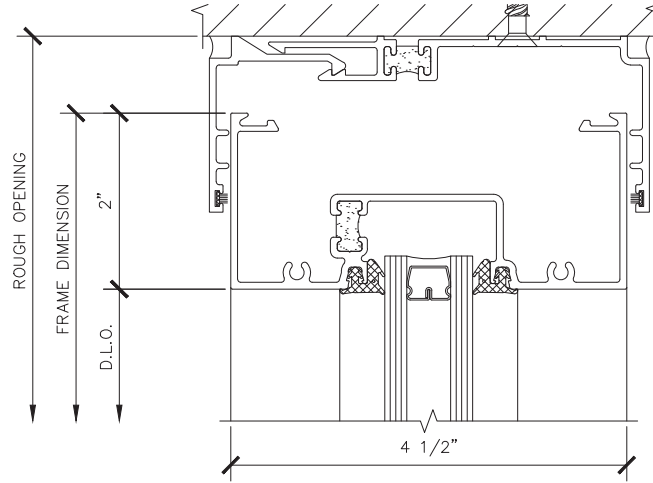


TYPE:	QTY: 1 THUS
M	ARCH MK.:
PRODUCT:	TMS 114T

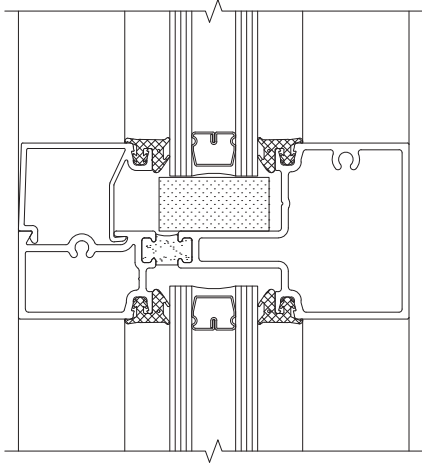
Sheet  304		Project Name:		1630 COMMERCE DRIVE BOURBONNAIS, IL 60914 PHONE: (815)933-2421 FAX: (815)933-8948	Submission	Date
		Location:				
		Architect:				
		General Contractor:				
		Date:				
		Dwg. Title:		ELEVATIONS		



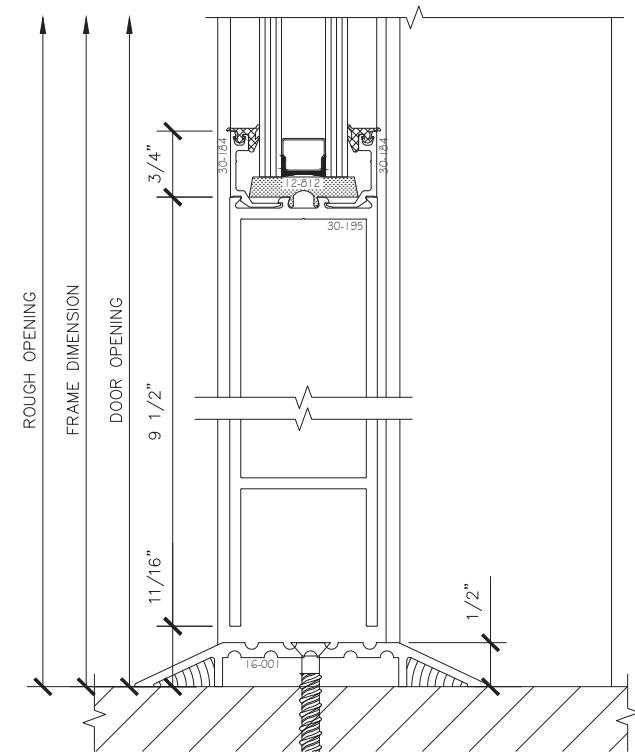
3	DETAIL SILL
	ARCH. REF.
PRODUCT TMS 114T	



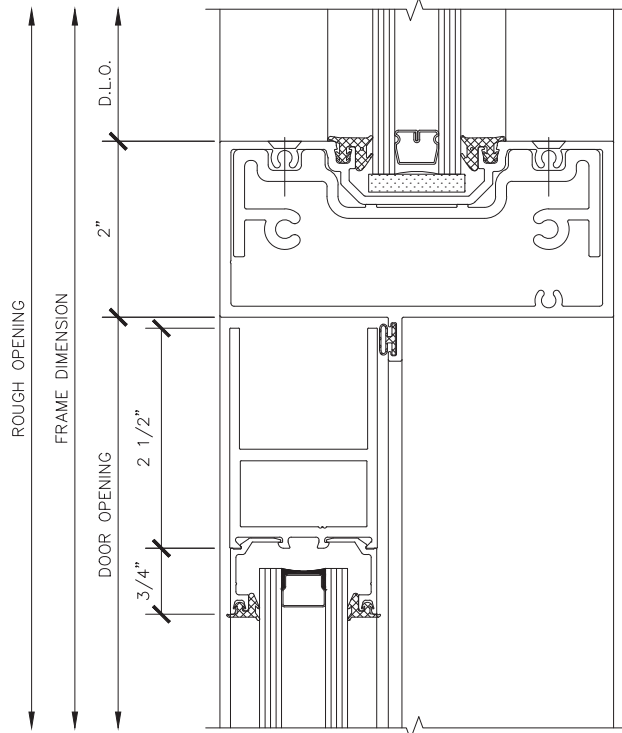
1	DETAIL HEAD
	ARCH. REF.
PRODUCT TMS 114T	



2	DETAIL HORIZONTAL
	ARCH. REF.
PRODUCT TMS 114T	

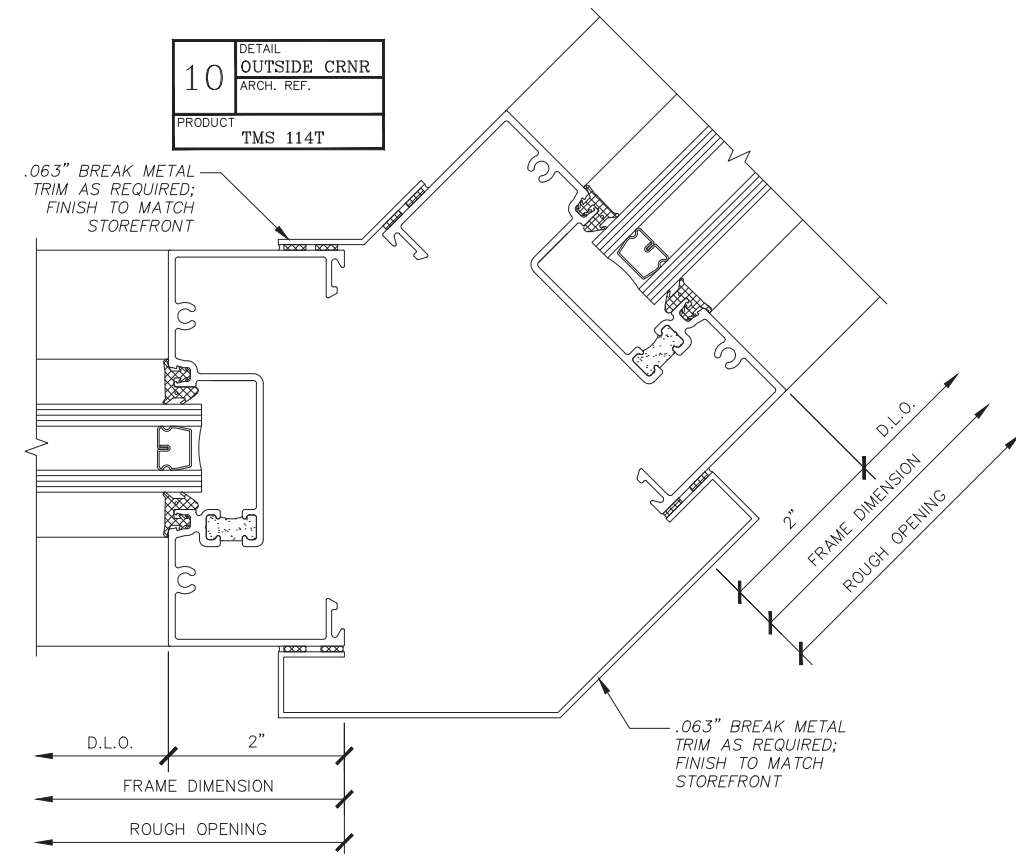
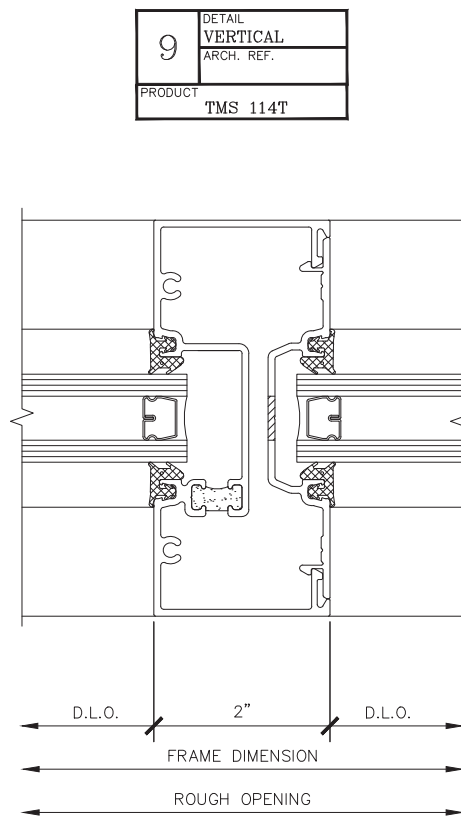
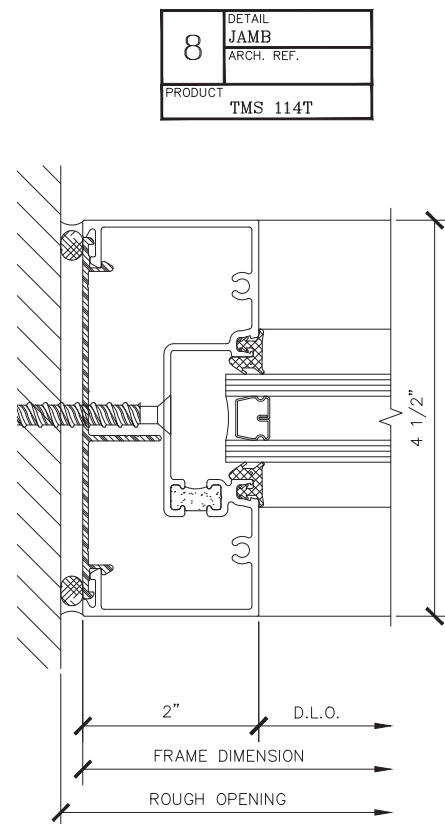
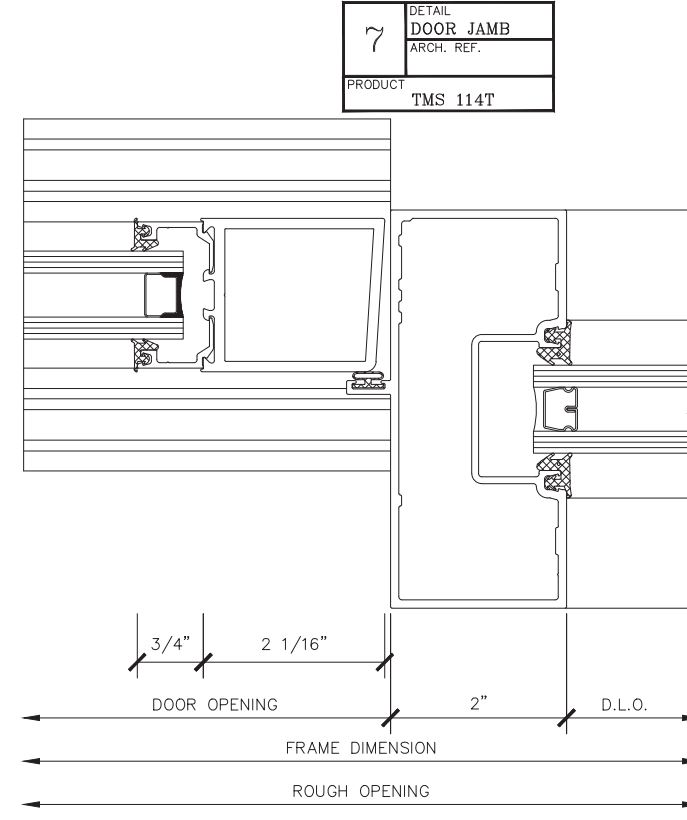
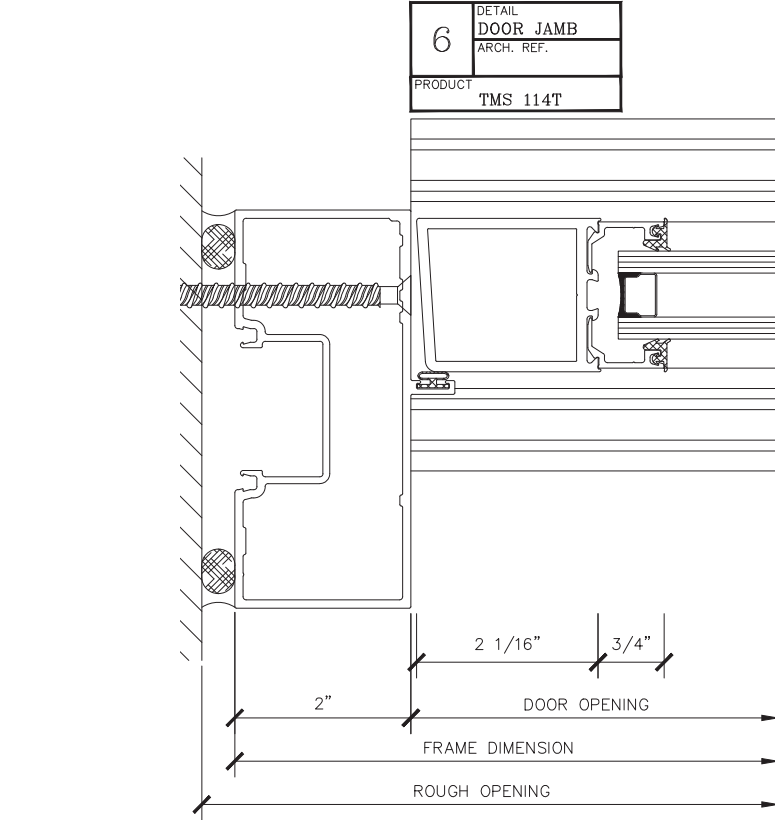


5	DETAIL BOTTOM RAIL
	ARCH. REF.
PRODUCT TMS 114T	

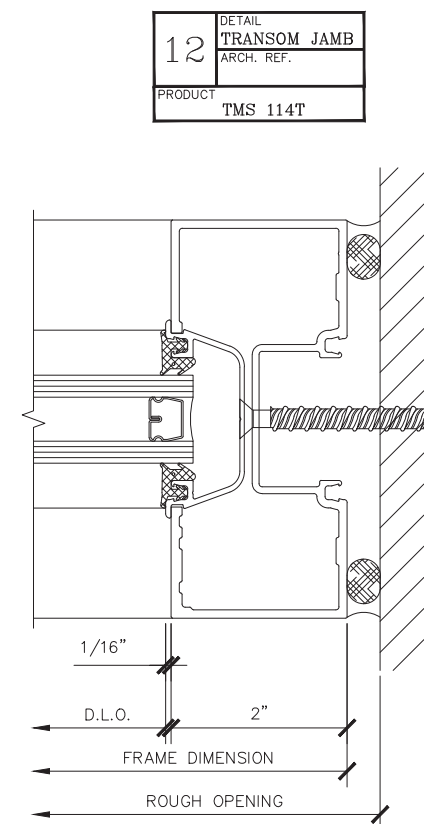
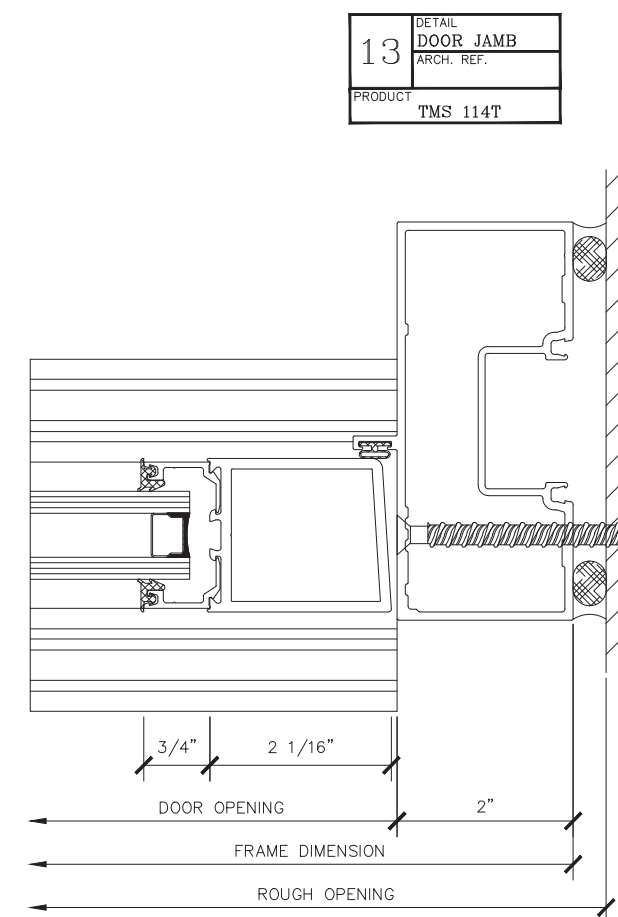
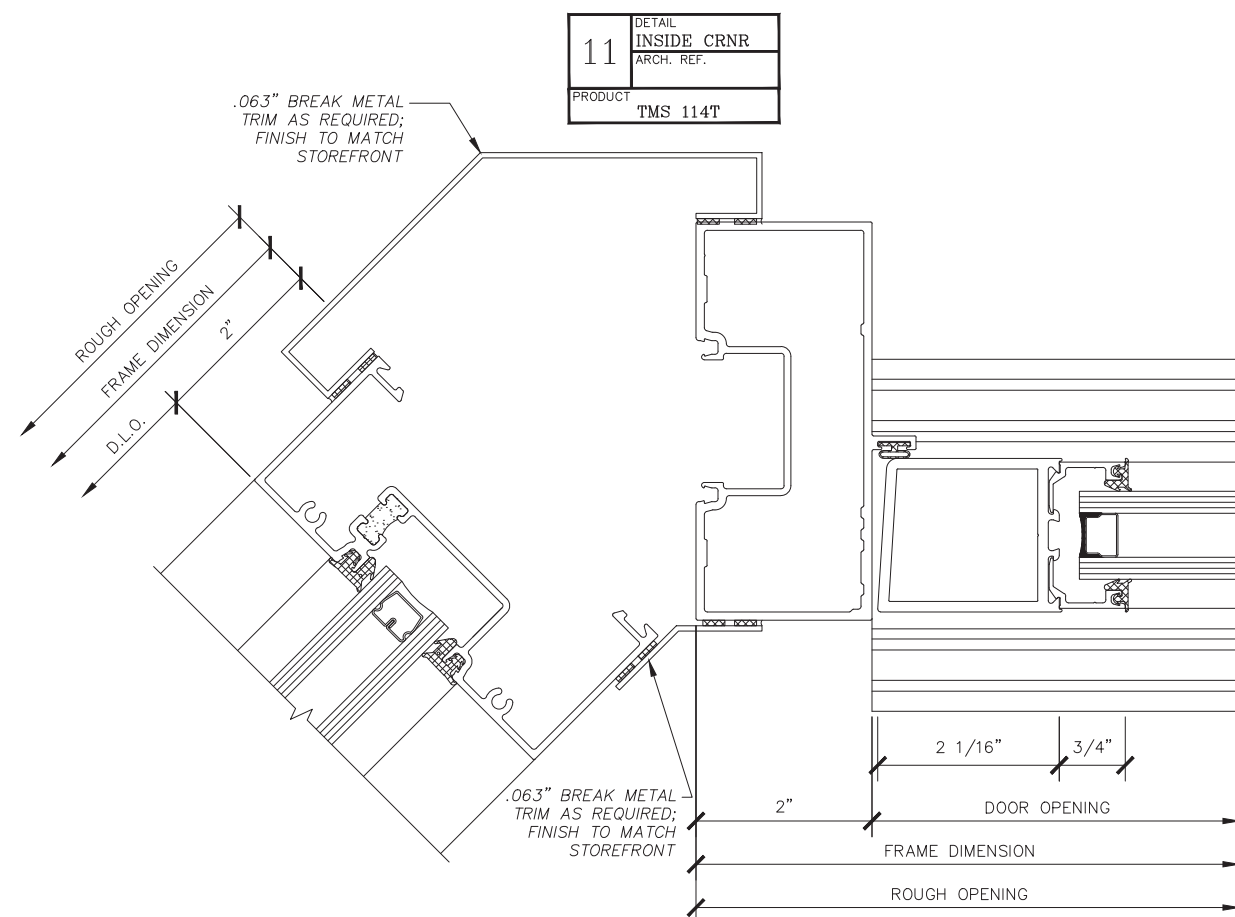


4	DETAIL DOOR HEAD
	ARCH. REF.
PRODUCT TMS 114T	

Sheet		Submission	Date
401			
Project Name:		1630 COMMERCE DRIVE BOURBONNAIS, IL 60914 PHONE: (815)933-2421 FAX: (815)933-8948	
Location:		1630 COMMERCE DRIVE BOURBONNAIS, IL 60914 PHONE: (815)933-2421 FAX: (815)933-8948	
Architect:		1630 COMMERCE DRIVE BOURBONNAIS, IL 60914 PHONE: (815)933-2421 FAX: (815)933-8948	
General Contractor:		1630 COMMERCE DRIVE BOURBONNAIS, IL 60914 PHONE: (815)933-2421 FAX: (815)933-8948	



Sheet		402		Project Name:		BUCK RUSSELL'S BAKERY & SANDWICH SHOP		Submission		Date	
				Location:		WILMETTE, ILLINOIS					
				Architect:		WEISS ARCHITECTURE					
				General Contractor:		KATTARA CONSTRUCTION					



Sheet		1630 COMMERCE DRIVE BOURBONNAIS, IL 60914 PHONE: (815)933-2421 FAX: (815)933-8948		Submission	Date
Project Name:		 <b>VALLEY GLASS</b> COMPANY			
Location:		BUCK RUSSELL'S BAKERY & SANDWICH SHOP WILMETTE, ILLINOIS			
Architect:		WEISS ARCHITECTURE			
General Contractor:		KATTARA CONSTRUCTION			
		Date: 01/27/22      Scale: 1'-0" = 1'-0" Dwg. Title: DETAILS			



Architecture • Planning • Design



the 1990s, the number of people in the United States who are 65 years of age or older has increased by 50 percent. The number of people 75 years of age or older has increased by 100 percent. The number of people 85 years of age or older has increased by 200 percent. The number of people 95 years of age or older has increased by 400 percent. The number of people 100 years of age or older has increased by 1,000 percent. The number of people 105 years of age or older has increased by 2,000 percent. The number of people 110 years of age or older has increased by 4,000 percent. The number of people 115 years of age or older has increased by 8,000 percent. The number of people 120 years of age or older has increased by 16,000 percent. The number of people 125 years of age or older has increased by 32,000 percent. The number of people 130 years of age or older has increased by 64,000 percent. The number of people 135 years of age or older has increased by 128,000 percent. The number of people 140 years of age or older has increased by 256,000 percent. The number of people 145 years of age or older has increased by 512,000 percent. The number of people 150 years of age or older has increased by 1,024,000 percent. The number of people 155 years of age or older has increased by 2,048,000 percent. The number of people 160 years of age or older has increased by 4,096,000 percent. The number of people 165 years of age or older has increased by 8,192,000 percent. The number of people 170 years of age or older has increased by 16,384,000 percent. The number of people 175 years of age or older has increased by 32,768,000 percent. The number of people 180 years of age or older has increased by 65,536,000 percent. The number of people 185 years of age or older has increased by 131,072,000 percent. The number of people 190 years of age or older has increased by 262,144,000 percent. The number of people 195 years of age or older has increased by 524,288,000 percent. The number of people 200 years of age or older has increased by 1,048,576,000 percent. The number of people 205 years of age or older has increased by 2,097,152,000 percent. The number of people 210 years of age or older has increased by 4,194,304,000 percent. The number of people 215 years of age or older has increased by 8,388,608,000 percent. The number of people 220 years of age or older has increased by 16,777,216,000 percent. The number of people 225 years of age or older has increased by 33,554,432,000 percent. The number of people 230 years of age or older has increased by 67,108,864,000 percent. The number of people 235 years of age or older has increased by 134,217,728,000 percent. The number of people 240 years of age or older has increased by 268,435,456,000 percent. The number of people 245 years of age or older has increased by 536,870,912,000 percent. The number of people 250 years of age or older has increased by 1,073,741,824,000 percent. The number of people 255 years of age or older has increased by 2,147,483,648,000 percent. The number of people 260 years of age or older has increased by 4,294,967,296,000 percent. The number of people 265 years of age or older has increased by 8,589,934,592,000 percent. The number of people 270 years of age or older has increased by 17,179,869,184,000 percent. The number of people 275 years of age or older has increased by 34,359,738,368,000 percent. The number of people 280 years of age or older has increased by 68,719,476,736,000 percent. The number of people 285 years of age or older has increased by 137,438,953,472,000 percent. The number of people 290 years of age or older has increased by 274,877,906,944,000 percent. The number of people 295 years of age or older has increased by 549,755,813,888,000 percent. The number of people 300 years of age or older has increased by 1,099,511,627,776,000 percent. The number of people 305 years of age or older has increased by 2,199,023,255,552,000 percent. The number of people 310 years of age or older has increased by 4,398,046,511,104,000 percent. The number of people 315 years of age or older has increased by 8,796,093,022,208,000 percent. The number of people 320 years of age or older has increased by 17,592,186,044,416,000 percent. The number of people 325 years of age or older has increased by 35,184,372,088,832,000 percent. The number of people 330 years of age or older has increased by 70,368,744,177,664,000 percent. The number of people 335 years of age or older has increased by 140,737,488,355,328,000 percent. The number of people 340 years of age or older has increased by 281,474,976,710,656,000 percent. The number of people 345 years of age or older has increased by 562,949,953,421,312,000 percent. The number of people 350 years of age or older has increased by 1,125,899,906,842,624,000 percent. The number of people 355 years of age or older has increased by 2,251,799,813,685,248,000 percent. The number of people 360 years of age or older has increased by 4,503,599,627,370,496,000 percent. The number of people 365 years of age or older has increased by 9,007,199,254,740,992,000 percent. The number of people 370 years of age or older has increased by 18,014,398,509,481,984,000 percent. The number of people 375 years of age or older has increased by 36,028,797,018,963,968,000 percent. The number of people 380 years of age or older has increased by 72,057,594,037,927,936,000 percent. The number of people 385 years of age or older has increased by 144,115,188,075,855,872,000 percent. The number of people 390 years of age or older has increased by 288,230,376,151,711,744,000 percent. The number of people 395 years of age or older has increased by 576,460,752,303,423,488,000 percent. The number of people 400 years of age or older has increased by 1,152,921,504,606,846,976,000 percent. The number of people 405 years of age or older has increased by 2,305,843,009,213,693,952,000 percent. The number of people 410 years of age or older has increased by 4,611,686,018,427,387,904,000 percent. The number of people 415 years of age or older has increased by 9,223,372,036,854,775,808,000 percent. The number of people 420 years of age or older has increased by 18,446,744,073,709,551,616,000 percent. The number of people 425 years of age or older has increased by 36,893,488,147,419,103,232,000 percent. The number of people 430 years of age or older has increased by 73,786,976,294,838,206,464,000 percent. The number of people 435 years of age or older has increased by 147,573,952,589,676,412,928,000 percent. The number of people 440 years of age or older has increased by 295,147,905,179,352,825,856,000 percent. The number of people 445 years of age or older has increased by 590,295,810,358,705,651,712,000 percent. The number of people 450 years of age or older has increased by 1,180,591,620,717,411,303,424,000 percent. The number of people 455 years of age or older has increased by 2,361,183,241,434,822,606,848,000 percent. The number of people 460 years of age or older has increased by 4,722,366,482,869,645,213,696,000 percent. The number of people 465 years of age or older has increased by 9,444,732,965,739,290,427,392,000 percent. The number of people 470 years of age or older has increased by 18,889,465,931,478,580,854,784,000 percent. The number of people 475 years of age or older has increased by 37,778,931,862,957,161,709,568,000 percent. The number of people 480 years of age or older has increased by 75,557,863,725,914,323,419,136,000 percent. The number of people 485 years of age or older has increased by 151,115,727,451,828,646,838,272,000 percent. The number of people 490 years of age or older has increased by 302,231,454,903,657,293,676,544,000 percent. The number of people 495 years of age or older has increased by 604,462,909,807,314,587,353,088,000 percent. The number of people 500 years of age or older has increased by 1,208,925,819,614,629,174,706,176,000 percent. The number of people 505 years of age or older has increased by 2,417,851,639,229,258,349,412,352,000 percent. The number of people 510 years of age or older has increased by 4,835,703,278,458,516,698,824,704,000 percent. The number of people 515 years of age or older has increased by 9,671,406,556,917,033,397,649,408,000 percent. The number of people 520 years of age or older has increased by 19,342,813,113,834,066,795,298,816,000 percent. The number of people 525 years of age or older has increased by 38,685,626,227,668,133,590,597,632,000 percent. The number of people 530 years of age or older has increased by 77,371,252,455,336,267,181,195,264,000 percent. The number of people 535 years of age or older has increased by 154,742,504,910,672,534,362,390,528,000 percent. The number of people 540 years of age or older has increased by 309,485,009,821,345,068,724,781,056,000 percent. The number of people 545 years of age or older has increased by 618,970,019,642,690,137,449,562,112,000 percent. The number of people 550 years of age or older has increased by 1,237,940,039,285,380,274,899,124,224,000 percent. The number of people 555 years of age or older has increased by 2,475,880,078,570,760,549,798,248,448,000 percent. The number of people 560 years of age or older has increased by 4,951,760,157,141,521,099,596,496,896,000 percent. The number of people 565 years of age or older has increased by 9,903,520,314,283,042,199,193,993,792,000 percent. The number of people 570 years of age or older has increased by 19,807,040,628,566,084,398,387,9

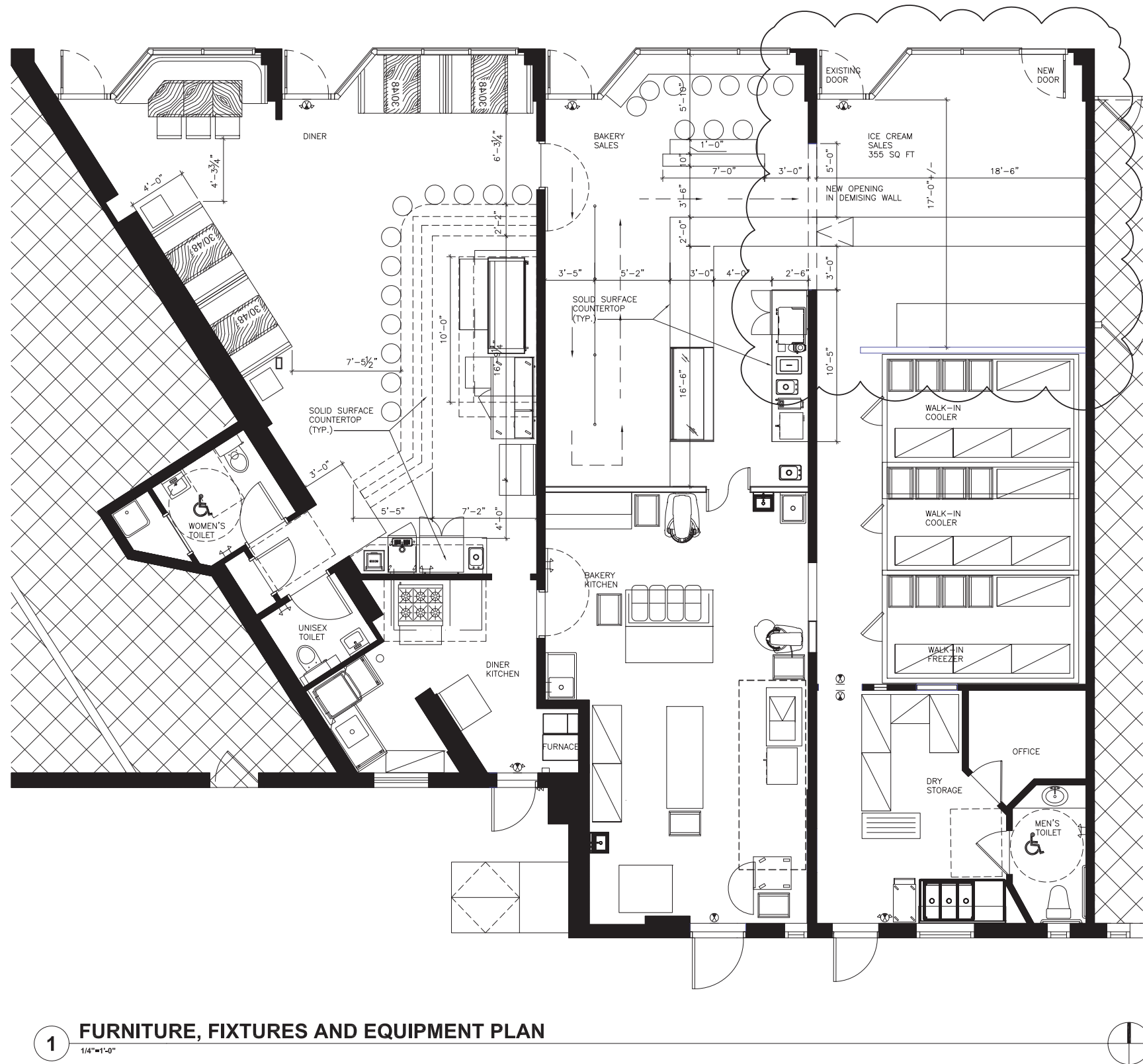
[illegible]

2-13-2022	ISS FOR REVIEW - ICE CREAM
10-22-2021	ISSUED FOR CONSTRUCTION
8-23-2021	△ REISSUED FOR BID & PERMIT
7-15-2021	ISSUED FOR BID & PERMIT
6-1-2021	ISSUED FOR ARC REVIEW

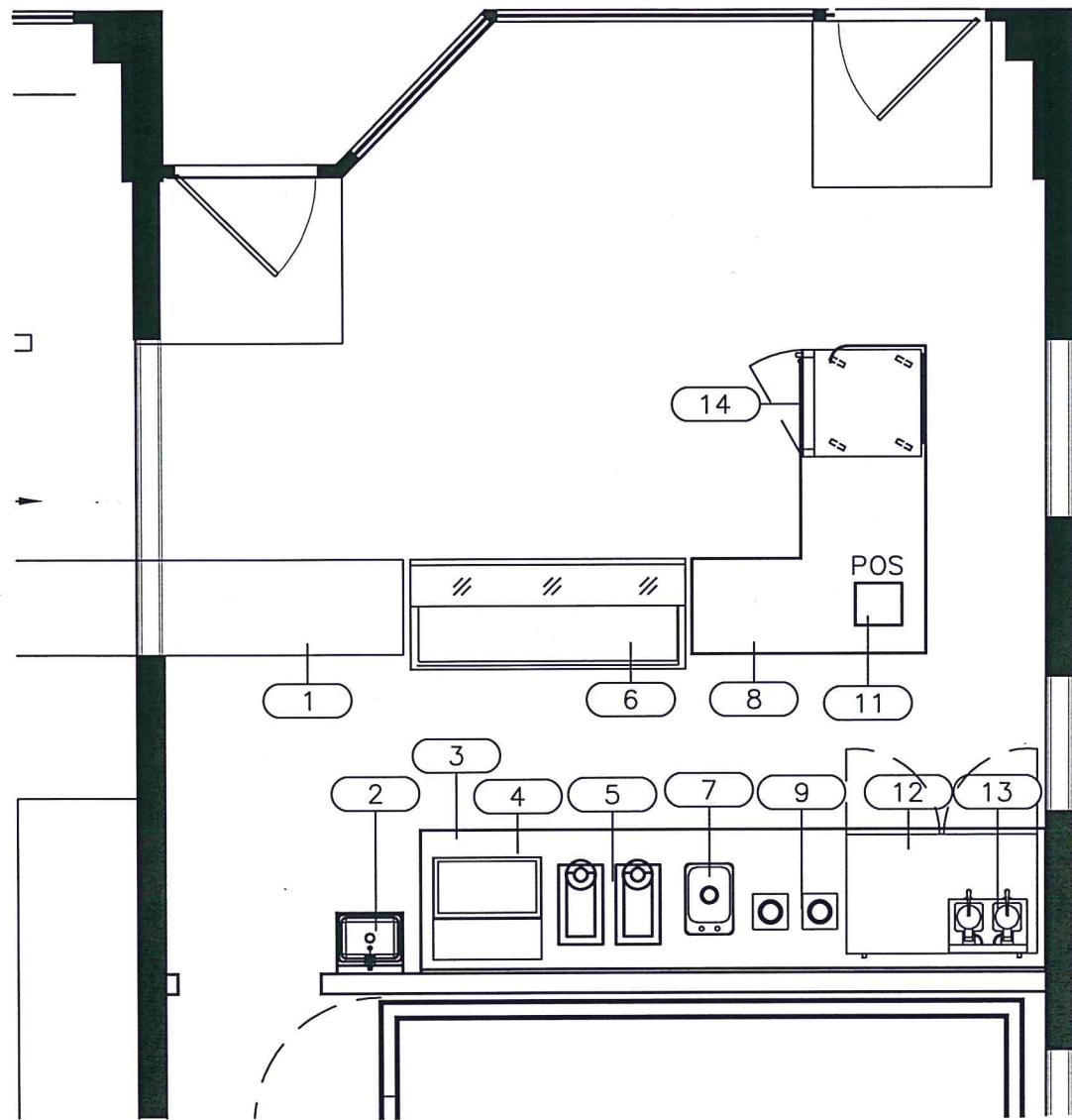
Scale 1/4"=1'-0"
Drawn by BLS/SW
Project 2107

## A2.4

© 2021 Weiss Architects, LLC



# 1 FURNITURE, FIXTURES AND EQUIPMENT PLAN



FOODSERVICE EQUIPMENT SCHEDULE			
ITEM	QTY	DESCRIPTION	PROVIDED BY
1	—	FRONT COUNTER	BO
2	1	HAND SINK	
3	1	CONDIMENT RAIL	
4	—	BACK COUNTER	BO
5	2	ICE CREAM SWIRL MACHINE	BO
6	1	DIPPIG CABINET	
7	1	SINK	
8	—	FRONT COUNTER	BO
9	2	BLENDERS	
10	—	SPARE	
11	1	P.O.S.	BO
12	1	UNDER COUNTER REFRIGERATOR	
13	2	WAFFLE MACHINES	
14	1	GLASS DOOR FREEZER	