



TREE REGULATIONS MANUAL

April 1, 2022

This manual will guide you through the tree preservation requirements set forth in Chapter 29 and Chapter 16 of the Municipal Code. The Community Development Department and the Department of Engineering and Public Works reserve the right to review and require additional documents or protection standards where applicable.

Table of Contents

<u>Topic</u>	<u>Page</u>
General Provisions	3
Protected Trees	3
Tree Measurement	3
Tree Protection Requirements	5
Tree Preservation Detail	6
Tree Removal Permits	8
Permit Fee	8
Tree Replacement/Fee In Lieu	8
Heritage Tree Removal	8
Heritage Tree Removal Neighbor Notice	9
Tree Removal Permit Information	11
Right-of-Way	11
Application Process Flowchart	12
Invasive Species List	13
Approved Species List	14
 Notices & Forms	
Tree Protection Notice Form	16
Tree Protection Notice Affidavit	17
Tree Removal Notice Form	18
Tree Removal Notice Affidavit	19

GENERAL PROVISIONS

It shall be unlawful for any person to damage any tree within the Village. It shall be unlawful for any person to remove any tree within the Village, 6" DBH (Diameter at Breast Height) or larger, without first obtaining a Tree Removal Permit from the Village. Both the property owner and the agent of the property owner violating the ordinance shall be jointly liable.

Except as otherwise provided or as authorized by the Director of Community Development, all trees located on private property and upon adjacent rights-of-way or public property, where construction work is occurring pursuant to a Building Permit or another permit issued by the Village, shall be protected from damage by means of the requirements stated herein. Both the property owner and the agent of the property owner violating this Article shall be jointly liable.

Protected Trees

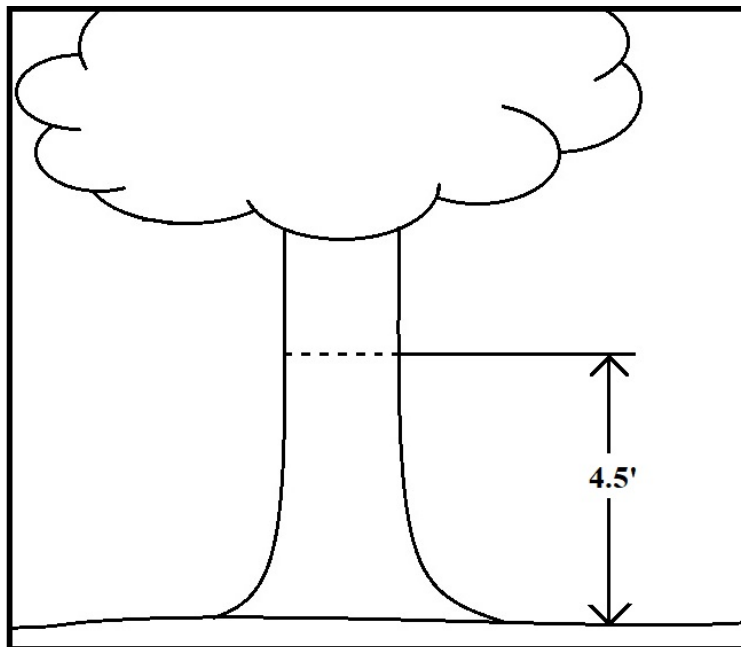
A Protected Tree is defined as any single trunk tree or any multi-stem tree with at least one stem, having a DBH of six (6) inches or greater when located on private property, or a tree of any size when planted as a Replacement Tree.

Tree Measurement

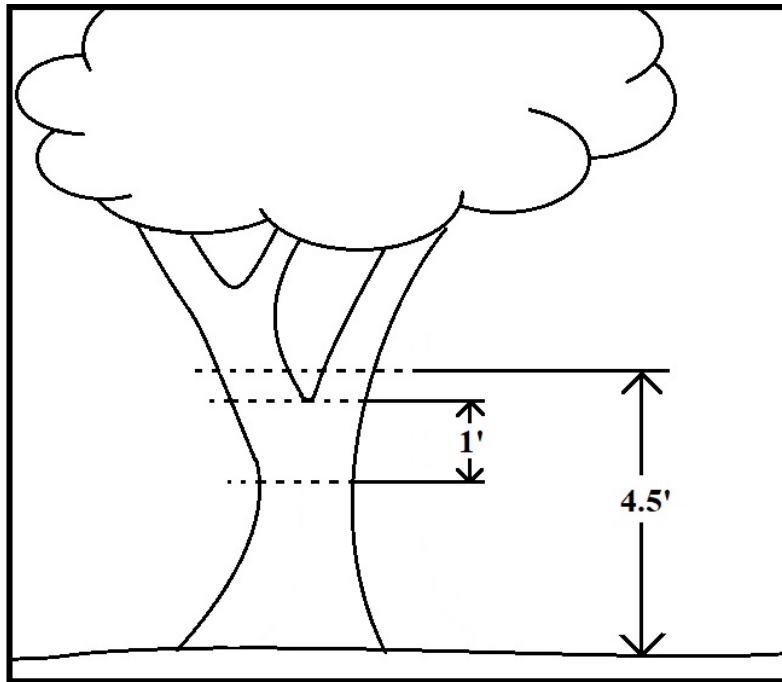
To determine the DBH of a tree, measure up 4.5' from the ground at the base of the tree. Mark the 4.5' height on the tree, wrap a flexible measuring tape around the tree, and take the measurement in inches. Using that measurement in inches, apply the following formula: Diameter at Breast Height (DBH) = Circumference in Inches 3.1415

$$\text{Diameter at Breast Height (DBH)} = \frac{\text{Circumference in Inches}}{3.1415}$$

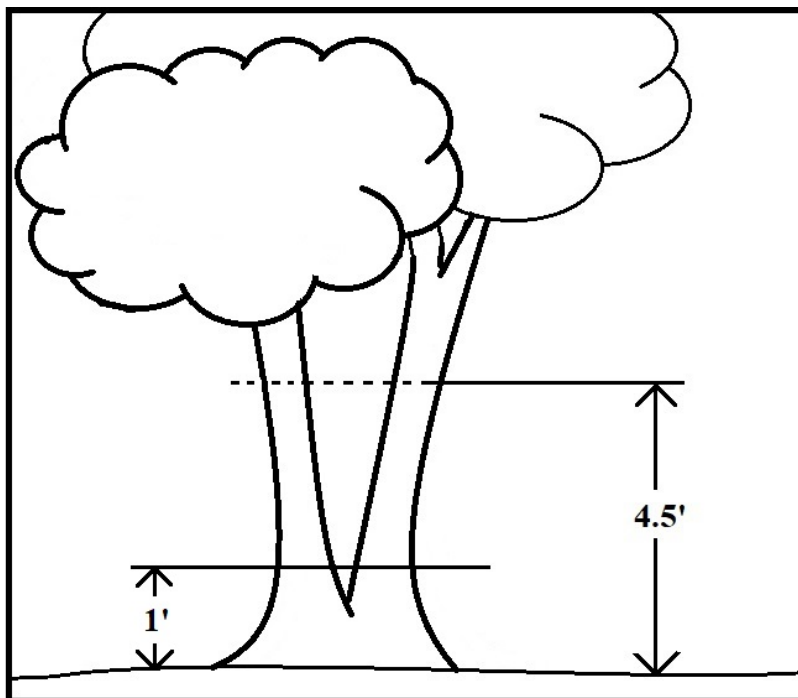
Single Trunk Tree Measurement Example:



For Multiple Stemmed Trees where the trunk separations begin at lower than four and one-half (4½) feet from the ground, but higher than one (1) foot from the ground, measurement shall be taken one (1) foot below the separation:



For Multiple Stemmed Trees where the trunk separations begin below one (1) foot from the ground, the sum of the diameters of the stems measured at four and one-half (4½) feet above the average ground level at the base of the tree:



TREE PROTECTION REQUIREMENTS

All trees located on private property and upon adjacent rights-of-way or public property, where construction work is occurring pursuant to a building permit or another permit issued by the Village, shall be protected from damage by means of the requirements stated herein. Both the property owner and the agent of the property owner violating the ordinance shall be jointly liable.

Tree Protection Requirements

1. All protected trees shall be protected with temporary fencing placed along the Tree Protection Area. The temporary fencing shall be made of plastic, wood or metal, and shall be secured with metal posts set no farther apart than three feet on center.
2. Construction materials shall not be stored within the fenced Tree Protection Area and shall not be stored on the construction site so as to cause the natural drainage flow to be diverted toward the protected trees.
3. A Tree Survey and Tree Protection Plan* shall be provided to the Director of Community Development prior to the demolition of a structure, new construction of a structure, or construction of an addition to a structure which will result in an increase of 50 percent or more of lot coverage on the property. See page 7 for a sample tree protection plan. Also, ANSI A300 (Part 5) Management of Trees and Shrubs During Site Planning, Site development, and Construction is a recommended resource for developing a Tree Protection Plan.
4. Upon a showing of good cause by the property owner, the Director of Community Development shall have the authority and discretion to modify the requirements stated herein.

Tree Protection Plan

The Tree Protection Plan shall include an accurate depiction of:

1. A Tree Survey indicating the location of all existing trees upon the property and within fifteen (15) feet of the lot lines on an adjoining property, with a six-inch (6") DBH or greater and existing trees of any size located on the adjacent rights-of-way. The survey shall also include an opinion, from a Certified Arborist, of the condition and form of each tree.
2. The location and type of protective fencing to be placed on the property and adjacent rights-of-way;
3. The location of Critical Root Zone areas and the types and locations of protection to be provided to minimize damage to tree roots in such areas, such as wood chips and exterior plywood;
4. A description of other required tree preservation procedures, such as root pruning, crown pruning, and the like;
5. The location, shape, and spatial arrangement of all temporary and permanent driveways, parking areas, and temporary material storage sites and access ways; and
6. The location of proposed and existing utility services including water, sewer, electric, gas and telecommunications, that may impact existing private or public trees.

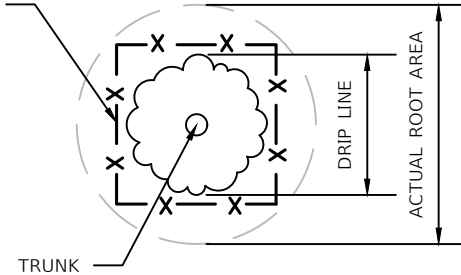
If a Grading and Drainage Plan is required by some other provision of the code, the Tree Protection Plan shall either be incorporated into the required Grading and Drainage Plan or the Tree Protection Plan shall depict the limits of land disturbing activities and the existing and proposed grading of the development, showing spot elevations and/or contour lines at one-foot intervals.

The Director of Community Development may require the applicant to provide any additional information the Director deems necessary to determine whether the tree protection plan complies with the requirements and the stated policy and purpose of Chapter 29 of the Municipal Code.

TREE PRESERVATION

PRIVATE PROPERTY TREES:

CONSTRUCTION FENCING PERIMETER WITH METAL POSTS SET NO FARTHER APART THAN 3-FT CENTERS (MAX.) SO FENCING WILL REMAIN STABLE THROUGHOUT CONSTRUCTION. FENCING SHALL BE MAINTAINED DAILY.

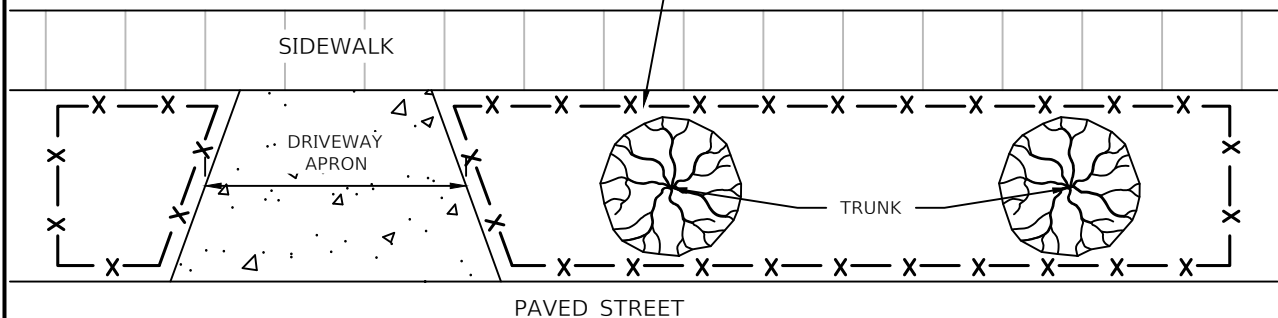


ROOTS OF TREES EXTEND FAR BEYOND THE TREES CANOPY. TO PROTECT THESE ROOTS, PLACE CONSTRUCTION FENCING AROUND THE CRITICAL ROOT ZONE (CRZ = 1' X DBH) OF THE TREE. THE IMPACT OF CONSTRUCTION ON THE TREE WILL LARGELY BE DETERMINED BY THE AMOUNT OF SPACE GIVEN FOR THE TREE PROTECTION AREA.

PARKWAY TREES:

GENERALLY THE ROOT SYSTEM OF A PARKWAY TREE ONLY EXTENDS FROM THE TRUNK TO THE END OF THE PARKWAY ON THE STREET SIDE OF THE TREE. THE ROOTS ON THE SIDEWALK SIDE CAN RUN UNDERNEATH THE WALKWAY AND ONTO PRIVATE PROPERTY. IT IS VERY IMPORTANT TO FENCE OFF THE ENTIRE PARKWAY (OR AS APPROVED BY THE VILLAGE FORESTER) TO MINIMIZE THE DAMAGE TO THE ROOT SYSTEM OF THESE TREES. PLEASE REFER TO THE DETAIL BELOW FOR THE PROPER INSTALLATION OF PARKWAY TREE FENCING.

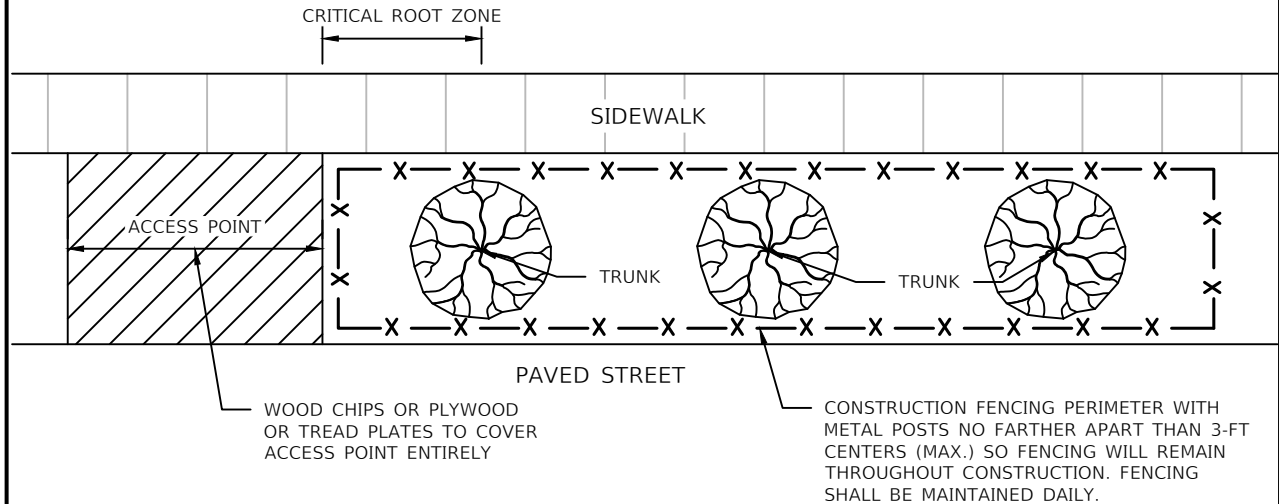
CONSTRUCTION FENCING PERIMETER WITH METAL POSTS SET NO FARTHER THAN 3-FT CENTERS (MAX.) SO FENCING WILL REMAIN STABLE THROUGHOUT CONSTRUCTION. FENCING SHALL BE MAINTAINED DAILY.



REVISED		TREE PROTECTION FENCING DETAIL Village of Wilmette Engineering and Public Works Department 847.853.7660	STANDARD: #### SHEET: 1 OF 2 CREATED: DPS DATE: 04-04-2022 NOT TO SCALE
By	Date		

PARKWAY TREE FENCING WITHOUT DRIVEWAY:

IF THE PROPERTY DOES NOT HAVE DRIVEWAY ACCESS, AN ACCESS POINT TO THE FRONT OF THE PROPERTY ACROSS THE PARKWAY IS PERMITTED AS APPROVED BY THE VILLAGE FORESTER. THIS ACCESS POINT MUST BE CONSTRUCTED TO PREVENT SOIL COMPACTION AND DAMAGE TO PARKWAY TREES ROOT SYSTEMS. THE GENERAL CONTRACTOR OR OWNER MUST FENCE OFF THE PERIMETER OF THE PARKWAY UP TO THE DESIGNATED ACCESS POINT. A MINIMUM OF 10" OF MULCH, PLYWOOD, OR OTHER MEANS APPROVED BY THE VILLAGE FORESTER MUST BE PLACED ACROSS THE ENTIRE ACCESS POINT. THIS MUST BE MAINTAINED DAILY THROUGHOUT THE DURATION OF THE CONSTRUCTION ACTIVITY.



CONSTRUCTION DANGERS TO BE AWARE OF:

COMPACTION: MINIMIZE THIS TYPE OF DAMAGE BY FENCING TREES TO THE DRIPLINE. A MAJORITY OF A TREES ROOTS ARE LOCATED IN THE TOP 18-24" OF SOIL AND CAN SPREAD TWO TO THREE TIMES FURTHER THAN THE BRANCHES. THEY ARE THE VITAL SUPPORT STRUCTURE AND WATER/NUTRIENT PROVIDER FOR THE TREE. LARGE EQUIPMENT (BOBCATS, LOADERS, CEMENT TRUCKS, ETC.), IF DRIVEN OVER THIS AREA, WILL REDUCE THE PORE SPACE IN THE SOIL. THERE WILL BE LESS WATER AND OXYGEN AVAILABLE IN THE SOIL BECAUSE OF THIS ACTIVITY. THIS WILL CAUSE THE TREE TO "STARVE" SINCE ITS ROOTS WILL BE DAMAGED AND NOT ABLE TO ACCESS THE WATER AND NUTRIENTS THEY NEED.

TRUNK DAMAGE/BROKEN BRANCHES: PREVENT THIS DAMAGE BY PRUNING LOW HANGING BRANCHES ON CONSTRUCTION SITES TO AVOID BREAKING & RIPPING THEM WITH TRUCKS AND OTHER CONSTRUCTION EQUIPMENT. IF THERE ARE LOW HANGING BRANCHES ON PARKWAY TREES CONTACT PUBLIC WORKS AT 847-853-7500. INSTALLATION AND MAINTAINING TREE PROTECTION FENCING WILL KEEP SKIDDERS, BOBCATS, ETC. FROM DAMAGING THE TRUNK. WOUNDS CAUSED IN THIS MANNER LEAVE SOURCES OF INFECTION FOR PATHOGENS. THIS WILL CAUSE THE TREE TO BE STRESSED AND SUSCEPTIBLE TO DISEASE AND DEATH.

TRENCHING: SEWER, WATER AND OTHER UTILITIES ARE PLACED UNDERGROUND. THE INSTALLATION OF THESE UTILITIES VIA TRENCHING CAUSES TREMENDOUS DAMAGE TO THE ROOT SYSTEM OF THE TREE. TRENCHING EQUIPMENT WILL TEAR & SEVER A LARGE PORTION OF THE ROOT ZONE RESPONSIBLE FOR WATER & NUTRIENT UPTAKE. THIS WILL PROVIDE A SOURCE OF INFECTION FOR FUNGUS & OTHER PATHOGENS LEADING TO TREE STRESS, DISEASE PROBLEMS, WEAK LIMBS, AND DEATH. ANY OPEN CUT TRENCHING WITHIN THE DRIPLINE OF ANY TREE MUST BE APPROVED BY FORESTRY AND ENGINEERING.

IF ANY CONFLICTS WITH TREES ARISE PER THE IEPA SEWER AND WATER SEPARATION REQUIREMENTS, PLEASE CONTACT PUBLIC WORKS PRIOR TO ANY WORK.

REVISED		TREE PROTECTION FENCING DETAIL Village of Wilmette Engineering and Public Works Department 847.853.7660	STANDARD: #### SHEET: 2 OF 2 CREATED: DPS DATE: 04-04-2022 NOT TO SCALE
By	Date		

TREE REMOVAL PERMITS

A Tree Removal Permit is required for all trees 6" DBH (Diameter at Breast Height) or greater. Both the property owner and the agent of the property owner violating the ordinance shall be jointly liable. Penalties for the removal of a tree without a permit are a fine of up to \$7,500 plus replacement fees.

If you are unsure of what requirements apply for your permit, see the permit flow chart on page 12 or contact the Village Forester/Tree Preservation Officer at (847) 853-7622 between the hours of 7:30 a.m. and 4:00 p.m. Monday through Friday.

Permit Fee

A tree removal permit fee of \$75 per tree will be required for the removal of any tree that is 6" DBH or greater. Upon approval of the Village Forester, the fee will be waived for the removal of dead, dying, diseased, hazardous, and invasive trees and none of the other requirements listed below apply.

Tree Replacement Requirement and Fees in Lieu of Replacement

To limit the number of unnecessary removals, and to replace canopy when trees need to be removed, the following replacement requirements will apply when healthy trees are being removed:

Protected Trees		
Size of Tree Removed	Required Tree Replacements	Fee in Lieu of Replacement
6-9"	TBD	TBD
10-12"	2	\$1,000
13-16"	3	\$1,500
17-19"	4	\$2,000

The Replacement Fees are prorated by \$500 for every new tree planted. New plantings may be required by the Village Forester depending on the specific conditions of the site.

Requirements for Heritage Tree Removal

Some trees have been identified as particularly valuable and are considered Heritage Trees. Heritage Trees are defined as any Oak and Hickory tree that is 10" or greater in DBH and any tree 20" or greater in DBH. In addition to the tree removal permit fee, the removal of a Heritage Tree, when determined to be healthy, is subject to the following replacement schedule:

Heritage Trees		
Size of Tree	Required Tree Replacements	Fee in Lieu of Replacement
10 - 19" (Oak & Hickory)	Inch for Inch	\$125/inch
All species 20"+	Inch for Inch	\$125/inch

The Replacement Fees are prorated by \$125 per inch for every new tree planted. New plantings may be required by the Village Forester depending on the specific conditions of each site.

Additional Approval for Heritage Trees

The removal of a Heritage Tree located in the required front, side yard adjoining a street, and rear yard of a property (where a house cannot be built) requires relief through an additional review process, where approval may or may not be granted.

- For Heritage Tree removal related to demolition, new home construction, addition construction, and detached garage construction, review will be conducted by the Administrative Zoning Review Committee and the Village Forester. If the removal is authorized, the property owner may remove the tree upon fulfilling the permit requirements including tree replacement as described above.
- If approval is not granted through the Administrative Zoning Review process, the property owner may bring the request to the Zoning Board of Appeals and Village Board through their regular process.
- The removal of a Heritage Tree in the required front, side yard adjoining a street, and rear yard for the purpose other than demolition, new home construction, addition construction, and detached garage construction, is required to be reviewed by the Zoning Board of Appeals and Village Board through their regular process.

For Heritage Trees in the required side yards, the Village Forester will determine if the tree can be properly protected during construction. If the tree will not survive construction, removal will be authorized subject to replacement requirements.

For Heritage Trees located within the buildable area (not within a required yard as defined by the Zoning Ordinance), no board or committee review is required. The property owner may remove the tree upon fulfilling the permit requirements including tree replacement as described above.

Neighbor Notification for Heritage Tree Removal

Neighbor Notification is required when removing a Heritage Tree. This notice is required to be provided to adjacent neighbors a minimum of 5 business days before a permit for removal may be issued. Notice is to be provided to the properties directly on the sides, directly behind, and directly across the street from the subject property. See page 10 for a description of the notice area. See pages 18-19 for the notice and affidavit forms.

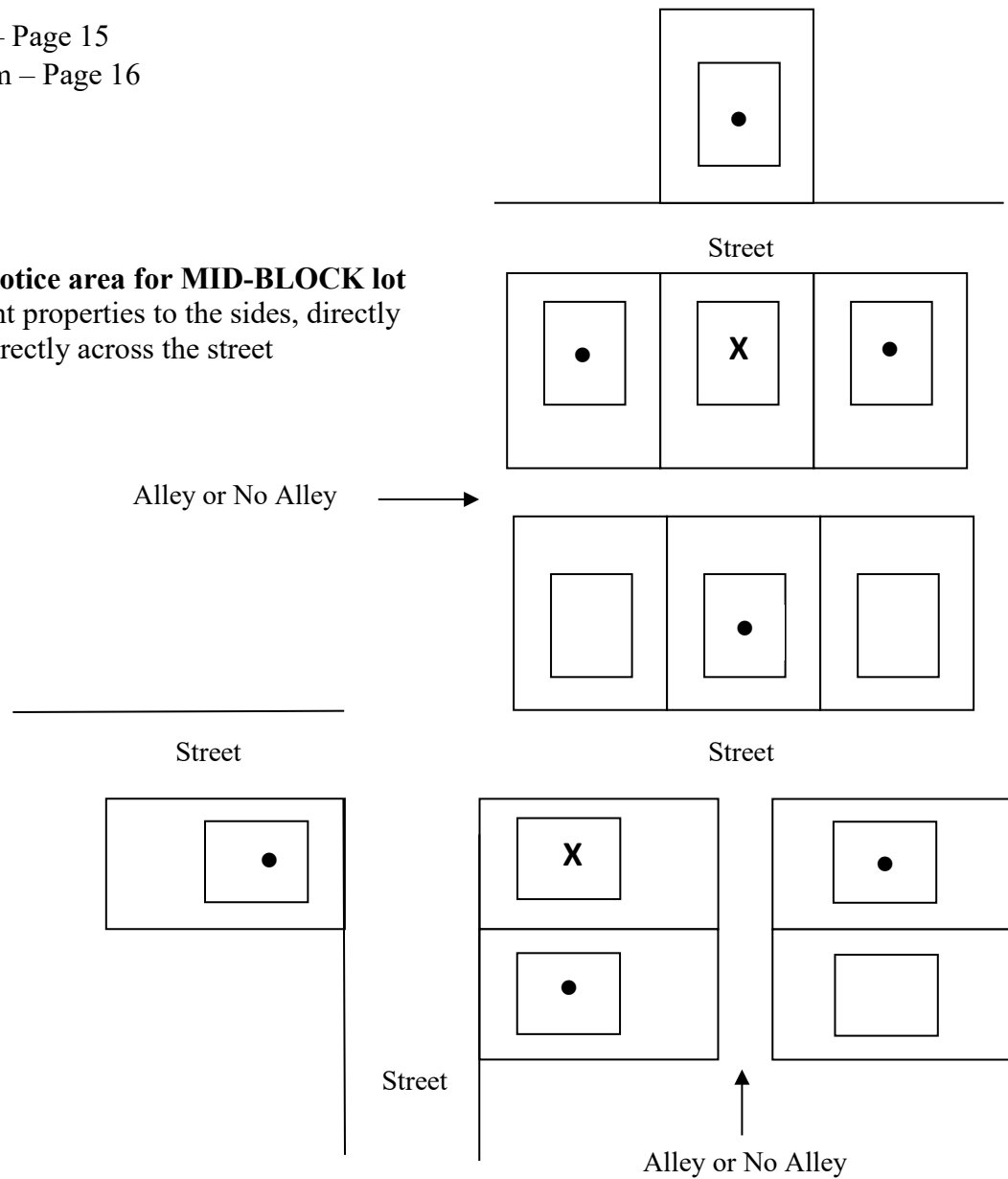
Neighbor Notification for Heritage Tree Removal

Notice Form – Page 15

Affidavit Form – Page 16

Example of notice area for MID-BLOCK lot

Notify adjacent properties to the sides, directly behind, and directly across the street



Example of notice area for CORNER lot

Notify adjacent properties to the sides, directly behind, and directly across the street.

Tree Removal Permit Requirements

When a Tree Removal Permit is required, prior to the issuance of a Tree Removal Permit, an applicant shall submit the following information on an application form to be provided by the Village. Contact village staff to request a copy of the permit application or visit the village website at www.wilmette.com.

1. The address of the property where the tree is to be removed;
2. The name, phone number, and email address of the property owner where the tree is to be removed;
3. The name, address, phone number and email address of the entity and/or individual that will be removing the tree;
4. Provide a description of the:
 - a. The species or common name of the tree to be removed
 - b. The location of the tree to be removed which, in the opinion of the Director of Community Development, may be required to be depicted upon a plat of survey or another document acceptable to the Director,
 - c. The DBH of the tree to be removed, and
 - d. Photographic documentation of the tree to be removed
5. Neighbor notification and affidavit of notice, only required for Heritage Tree removal

All tree removal permit applications shall be accompanied by a copy of a plat of survey or site drawing indicating the location of the trees proposed for removal labeled using numbers 1, 2, 3, etc. and provide the corresponding tree information requested on the front of the application.

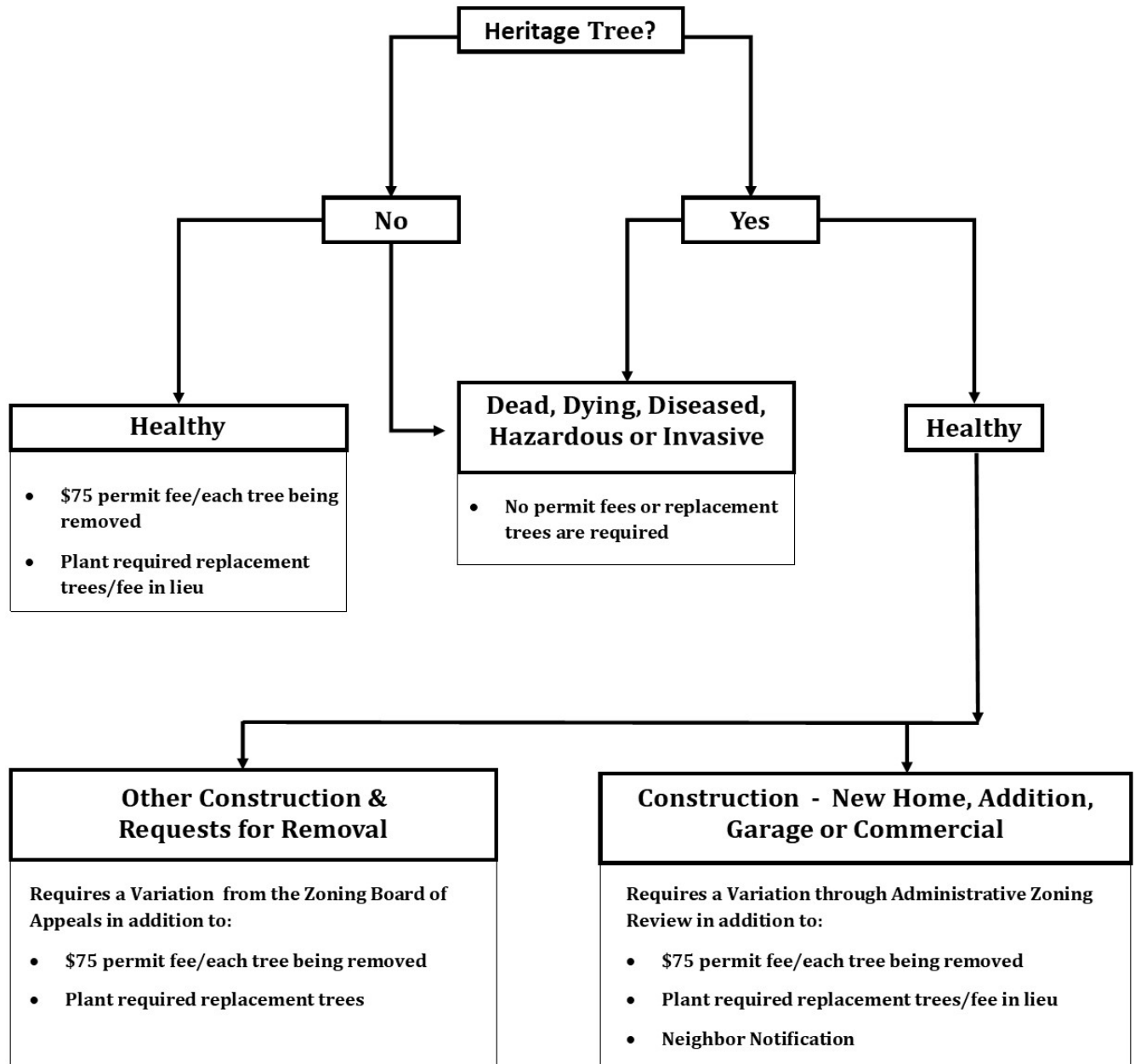
The Village Forester/Tree Preservation Officer will review the Tree Removal Permit Application which will include an inspection of the site and/or meetings with the applicant to discuss the removal and/or provide any alternatives. Upon receipt of a properly filed request, the application review process should take no longer than ten (10) business days. A permit will be issued upon compliance with the requirements of Chapter 29 and once all associated tree planting requirements and fees are met.

The Director of Community Development may be authorized to reduce the number of required Replacement Trees and the Fee in Lieu only in specific circumstances as outlined in Chapter 29.

Right-of-Way Trees

Trees located in the public right-of-way are not to be removed without written approval from the Engineering/Public Works department. To request the removal of a right-of-way tree, please submit a right-of-way permit application. If approved, the applicant is responsible for the right-of-way permit fee, right-of-way deposit, as well as any additional fees and required replacement trees as required by the Department of Engineering/Public Works.

Village of Wilmette Tree Removal Permit Application Process



*This workflow process document is just a general guide and does not include all required documents, conditions or processes required prior to the issuance of a Tree Removal Permit. Please see the Village of Wilmette's Tree Regulations Manual and Chapter 29 of the Municipal Code for all provisions. Contact Community Development at 847-853-7550.

Invasive Species List

Permit fees, required replacement trees or fees in lieu will be waived for trees on the Invasive Species list. However, issuance of a Tree Removal Permit Application is still required prior to their removal.

Common Name	Latin Name
Japanese honeysuckle	<i>Lonicera japonica</i>
exotic bush honeysuckle	<i>Lonicera</i> spp.
common buckthorn	<i>Rhamnus cathartica</i>
glossy buckthorn	<i>Rhamnus frangula</i>
Russian olive	<i>Elaeagnus angustifolia</i>
Tree-of-Heaven	<i>Ailanthus altissima</i>
white mulberry	<i>Morus alba</i>

Replacement Tree Approved Species List

Planting Requirements:

- Replacement trees shall be single stemmed and a minimum of 2" caliper. Caliper is the diameter of the tree measured 6" above the ground.
- Shade trees should not be planted near or under utility wires or near structures.
- Visit arborday.org/trees/rightTreeAndPlace for guidance in selecting a species and planting location

Trees species approved as required replacements are as follows:

Bald-cypress	Hornbeam, European*	Oak, Shingle
Beech	Horse-chestnut*	Oak, Shumard
Birch, Paper	Ironwood	Oak, Swamp White
Birch, River	Katsura Tree*	Oak, White
Buckeye	Linden, American	Pecan
Catalpa	Linden, Little-leaf*	Persimmon
Coffeetree	Linden, Silver*	Planetree*
Cucumbertree	Maple, Red	Redwood, Dawn*
Elm (hybrids)*	Maple, Black	Scholar Tree*
Ginkgo (male)*	Maple, Sugar	Sweet-gum
Hackberry	Oak, Black	Sycamore
Hazelnut, Turkish*	Oak, Bur	Tamarack
Hickory, Shagbark	Oak, Chestnut	Tuliptree
Hickory, Bitternut	Oak, Chinkapin	Tupelo
Hickory, Mockernut	Oak, English*	Walnut
Hickory, Pignut	Oak, Hill's	Yellowwood
Honey-locust	Oak, Red	Zelkova*
Hornbeam, American	Oak, Scarlet	

**Non-native trees*

Planting native species is recommended as they play an important role in our ecosystems by preserving and promoting biodiversity. In addition, many insects, birds and animals depend on native trees. They are also typically better suited for the environment as they are already adapted to the region.

For additional information regarding tree replacements and planting, please contact the Village Forester/Tree Preservation Officer at (847) 853-7622.

Village of Wilmette Replacement Tree Approved Species List

Common Name	Genus	species	Native	Non-native
Bald-cypress	Taxodium	distichum	X	
Beech, American	Fagus	grandifolia	X	
Birch, Paper	Betula	papyrifera	X	
Birch, River	Betula	nigra	X	
Buckeye, Yellow	Aesculus	flava	X	
Buckeye, Ohio	Aesculus	glabra	X	
Catalpa, Northern	Catalpa	speciosa	X	
Coffeetree, Kentucky	Gymnocladus	dioicus	X	
Cucumbertree	Magnolia	acuminata		
Elm (Hybrids)	Ulmus	spp.		X
Ginkgo (male)	Ginkgo	biloba		X
Hackberry	Celtis	occidentalis	X	
Hazelnut, Turkish	Corylus	columna		X
Hickory, Shagbark	Carya	ovata	X	
Hickory, Bitternut	Carya	cordiformis	X	
Hickory, Mockernut	Carya	tomentosa	X	
Hickory, Pignut	Carya	glabra	X	
Honey-locust	Gleditsia	triacanthos	X	
Hornbeam, American	Carpinus	caroliniana	X	
Hornbeam, European	Carpinus	betulus		X
Horse-chestnut, Red	Aesculus	carnea		X
Ironwood	Ostrya	virginiana	X	
Katsura Tree	Carcidiphyllum	japonicum		X
Linden, American	Tilia	americana	X	
Linden, Little-leaf	Tilia	cordata		X
Linden, Silver	Tilia	tomentosa		X
Maple, Red	Acer	rubrum	X	
Maple, Black	Acer	saccharum subsp. nigrum	X	
Maple, Sugar	Acer	saccharum	X	
Oak, Black	Quercus	velutina	X	
Oak, Bur	Quercus	macrocarpa	X	
Oak, Chestnut	Quercus	montana	X	
Oak, Chinkapin	Quercus	muehlenbergii	X	
Oak, English	Quercus	robur		X
Oak, Hill's	Quercus	ellipsoidalis	X	
Oak, Red	Quercus	rubra	X	
Oak, Scarlet	Quercus	coccinea	X	
Oak, Shingle	Quercus	imbricaria	X	
Oak, Shumard	Quercus	shumardii	X	
Oak, Swamp White	Quercus	bicolor	X	
Oak, White	Quercus	alba	X	
Pecan	Carya	illinoensis	X	
Persimmon	Dispyros	virginiana	X	
Planetree, London	Platanus	acerifolia		X
Redwood, Dawn	Metasequoia	glyptostroboides		X
Scholar Tree, Japanese	Styphnolobium	japonica		X
Sweet-gum, American	Liquidambar	styraciflua	X	
Sycamore	Platanus	occidentalis	X	
Tamarack	Larix	laricina	X	
Tuliptree	Liriodendron	tuipifera	X	
Tupelo	Nyssa	slyvatica	X	
Walnut, Black	Juglans	nigra	X	
Yellowwood	Cladrastis	kentukea	X	
Zelkova, Japanese	Zelkova	serrata		X

<p style="text-align: center;">NOTIFICATION TO ADJACENT PROPERTY OWNERS REGARDING TREE PROTECTION DURING CONSTRUCTION</p>
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A copy of this notice is to be given to all adjacent property owners as required below.

Address of Subject Property _____

Name of Property Owner _____

Phone No. of Property Owner _____

Name of Contact Person _____

Phone No. of Contact Person _____

PLEASE BE ADVISED that a building permit application has been submitted to the Village of Wilmette for the above-referenced property. Pursuant to Section 8-445 of the Wilmette Village Code, no building permit subject to the notification requirements can be issued by the Village until 5 business days after receipt of notice by any and all adjacent property owners.

Notice is being provided to you as an adjacent property owner whose property contains one or more trees within 15' of the property lot line. This notice is intended to give you the opportunity prior to the initiation of construction to discuss what impact, if any, there may be to the tree(s) on your property. You may contact the person(s) listed above in this regard.

Should you have additional questions regarding the requirements feel free to contact the Village Forester/Tree Preservation Officer at (847) 853-7622 between the hours of 7:30 a.m. and 4:00 p.m. Monday through Friday.

Village of Wilmette
Notice of Construction/Tree Protection
Affidavit of Compliance

INSTRUCTIONS:

1. Identify all adjacent properties that contain a tree within 15 feet of the property line.
2. For all properties identified in #1 above, serve written notice, in the form provided by the Village, upon all persons to whom the current real estate tax bills are sent, as shown on the record of the local real estate tax collector, and all parties residing on or in possession of any portion of the property. Notice may be served by first class mail or by hand delivery.
3. Complete this Affidavit with the information requested below and submit to the Village.

ADDRESS OF SUBJECT PROPERTY: _____

I, _____, state upon oath that I have complied with the applicable

(Print Name of Person Completing Affidavit)

notice requirements of Section 8-445 of the Wilmette Village Code in that (*check A or B*):

- ☐ A. There are no adjacent properties that contain a tree within 15 feet of the property line.
- ☐ B. Written notice has been served and received by all adjacent property owners who have a tree within 15 feet of the property line as identified below.

Address of Adjacent Property	Name of Property Owner(s)	Hand Delivery	First Class Mail	Date Received

Subscribed and sworn before me
 this ____ day of _____, 20____.

 NOTARY PUBLIC

(SEAL)

I hereby certify that the statements in this Affidavit are true and correct. I understand that any false or inaccurate information contained in or in connection with this Affidavit may result in prosecution under Section 24-196 of the Wilmette Village Code, in addition to any other civil or criminal penalties provided by law, including but not limited to revocation of this permit.

 (Signature of Person completing Affidavit)

Date: _____

NOTIFICATION TO ADJACENT PROPERTY OWNERS REGARDING PRIVATE TREE REMOVAL

A copy of this notice is to be given to all adjacent property owners as required below.

Address of Subject Property _____

Name of Property Owner _____

Phone No. of Property Owner _____

Name of Contact Person _____

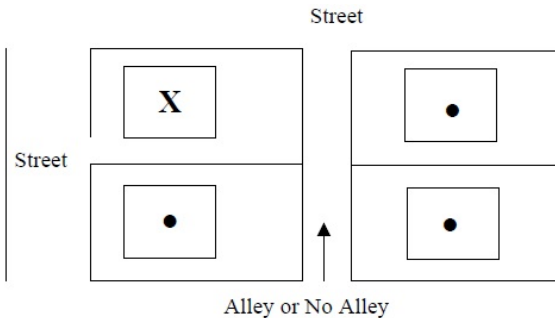
Phone No. of Contact Person _____

PLEASE BE ADVISED that a Tree Removal Permit Application has been submitted to the Village of Wilmette for the above-referenced property. Pursuant to Chapter 29 of the Wilmette Village Code, Neighbor Notification shall be provided at least five (5) business days prior to the Removal of any Heritage Trees.

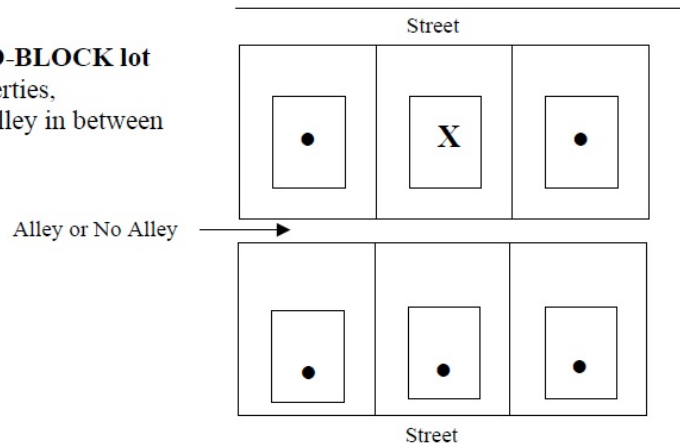
Notice is being provided to you as an adjacent property owner to give you the opportunity prior to the proposed removal of tree(s) to discuss what impact, if any, there may be to your property. You may contact the person(s) listed above in this regard.

Should you have additional questions regarding the requirements feel free to contact the Village Forester/Tree Preservation Officer at (847) 853-7622 between the hours of 7:30 a.m. and 4:00 p.m. Monday through Friday.

Example of notice area for CORNER lot
Notify 3 adjacent properties, regardless of presence of alley in between



Example of notice area for MID-BLOCK lot
Notify 5 (or more) adjacent properties, regardless of the presence of an alley in between



This Affidavit of Compliance is required *only* for Tree Removal Permit Applications involving removal of Heritage Tree(s) when being submitted as part of an Administrative Zoning Review. In such cases, written notice must be served upon all properties adjacent, directly on the other side of the street & directly on other side of the alley. Notice must be *received* by all adjacent property owners to which notice is required at least *5 business days* prior to the tree(s) removal.

Village of Wilmette Notice of Tree Removal Affidavit of Compliance

INSTRUCTIONS:

1. Identify all adjacent properties.
2. For all properties identified in #1 above, serve written notice, in the form provided by the Village, upon all persons to whom the current real estate tax bills are sent, as shown on the record of the local real estate tax collector, and all parties residing on or in possession of any portion of the property. Notice may be served by registered or certified mail return receipt requested; or by hand delivery.
3. Complete this Affidavit with the information requested below.

ADDRESS OF SUBJECT PROPERTY: _____

I, _____, state upon oath that I have complied with the applicable
(Print Name of Person Completing Affidavit)
notice requirements of Section 9-4.5 of the Wilmette Village Code in that (*check A or B*):

- ☐ A. There are no adjacent properties that contain a tree within 15 feet of the property line.
- ☐ B. Written notice has been served and received by all adjacent properties owners who have a tree within 15 feet of the property line as identified below.

Address of Adjacent Property	Name of Property Owner(s)	Service		Date Notice Received
		Hand Delivery	Mail	
		<input type="checkbox"/>	<input type="checkbox"/>	
		<input type="checkbox"/>	<input type="checkbox"/>	
		<input type="checkbox"/>	<input type="checkbox"/>	
		<input type="checkbox"/>	<input type="checkbox"/>	
		<input type="checkbox"/>	<input type="checkbox"/>	

Subscribed and sworn before me
this ___ day of _____, 20__.

(Signature of Person Completing Affidavit)

Date: _____

NOTARY PUBLIC